

Sterling Planning & Zoning Commission

Regular Meeting Agenda

Monday-January 12, 2026

**Sterling Municipal Building-Room #15
1183 Plainfield Pike Oneco, CT 06373**

Time: 6:30 p.m.

Available Via Zoom

1. Call To Order
2. Pledge Of Allegiance
3. Audience Comments
4. Approval Of Minutes
 - a. 2025 November 17th Public Hearing Minutes

Documents:

[PLANNING AND ZONING 11.17.25 PUBLIC HEARING MINUTES.PDF](#)

- b. 2025 November 17th Regular Meeting Minutes-Amendment Needed

Documents:

[PLANNING AND ZONING 11.17.25 REGULAR MEETING MINUTES.PDF](#)
[PLANNING AND ZONING 11.17.25 REGULAR MEETING MINUTES \(AMENDED\).PDF](#)

- c. 2025 December 15th Special Meeting Minutes

Documents:

[PLANNING AND ZONING 12.15.25 SPECIAL MEETING MINUTES.PDF](#)

5. Correspondence
6. Unfinished Business
 - a. Special Permit-Earth Excavation, 0 Plainfield Pike (RT 14A), Charles Corson

Documents:

[CHARLES CORSON III-APPLICATION.PDF](#)
[25041 CORSON - EXCAVATION PLAN 2026-01-05.PDF](#)
[25041 CORSON - MEMO ON BLASTING.PDF](#)
[ABUTTERS LIST 300 FEET.PDF](#)
[25041 CORSON - BOND ESTIMATE.PDF](#)
[25041 CORSON - J AND D RESPONSE TO COMMENTS 2025-01-05.PDF](#)
[25-055 STERLING PZC CORSON ROUTE 14A EXCAVATION SECOND](#)

REVIEW JANUARY 9, 2025.PDF

- b. 25-2SA-Judith Lafrate, 80 Porter Pond Road, Moosup, CT 1-Lot Re-Subdivision

Documents:

[IAFRATE RESUBDIVISION APPLICATION.PDF](#)
[IAFRATE RESUBDIVISION PLANS.PDF](#)

7. New Business

- a. Consider & Act On Boards & Commissions Questionnaire-Judith Stumpo-Planning & Zoning Commission
- b. Consider & Act On Boards & Commissions Questionnaire-Ed Adams-Planning & Zoning Commission

8. ZEO Report

Documents:

[ZEO REPORT JANUARY 2026.PDF](#)

- a. E&S Inspection Report Strmiska Excavation, 140 Newport Road, Sterling, CT

Documents:

[23-111 STRMISKA DEC 24 2025 E AND S INSP ZEO.PDF](#)

9. Any Other Business To Come Before The Planning & Zoning Commission

- a. Election Of Officers
- b. Regulation Priorities

10. Audience Comments

11. Adjournment

Join Zoom Meeting

Register in advance for this meeting:

https://us06web.zoom.us/meeting/register/7ybXGp0tSR6F35c6w8Z_xw

After registering, you will receive a confirmation email containing information about joining the meeting.

**STERLING PLANNING & ZONING COMMISSION
PUBLIC HEARING MINUTES
1183 PLAINFIELD PIKE, ONECO, CT
MONDAY, NOVEMBER 17, 2025, 6:00 P.M.**

Members Present: Jason McLevy, John Angelone, and Stephen Thompson

Members Absent: Jon Turban, with notice

Alternate Members Present: none

Staff Present: Consulting Planner Jim Larkin and Revenue Collector Judy Stumpo

Call to Order: J. McLevy called the meeting to order at 6:00 pm.

J. McLevy read the Notice of Public Hearing and opened the floor to public comments on Item 1, P&Z proposed Text Amendments to Zoning and Subdivision Regulations (Continued from October 20, 2025 Public Hearing). There were no comments. S. Thompson made a motion to close the Public Hearing as to the proposed Text Amendments, seconded by J. Angelone; motion carries 3-0.

J. Larkin, Consulting Planner, addressed the Special Permit- Earth Excavation, 0 Plainfield Pike (RT 14A) Map 3830 Block 27 Lot 15, Charles Corson III. This application may not be heard or discussed at this Public Hearing as the abutters were not notified by the applicant in a timely manner and have not had the full benefit of time to attend the Public Hearing. One member of the public was present, David Hampshire.

J. McLevy accepted Mr. Hampshire's letter at 6:18 pm, with the understanding that this may not be discussed at this meeting.

A Public Hearing will be recommended at the November 17, 2025 Planning and Zoning Regular Meeting for December 15, 2025 at a time to be set during this meeting.

S. Thompson made a motion to adjourn the Public Hearing at 6:28 pm, seconded by J. Angelone; motion carries 3-0.

Respectfully Submitted:

Judith Stumpo
Recording Secretary

STERLING PLANNING & ZONING COMMISSION MEETING
REGULAR MEETING MINUTES
1183 PLAINFIELD PIKE, ONECO, CT
MONDAY, NOVEMBER 17, 2025, 6:30 P.M.

Members Present: Jason McLevy, John Angelone, and Stephen Thompson

Members Absent: Jon Turban, with notice

Alternate Members Present: none

Staff Present: Consulting Planner Jim Larkin and Revenue Collector Judy Stumpo

Call to Order: J. McLevy called the meeting to order at 6:30 pm.

Alternate Seated: N/A

Pledge of Allegiance: All stood to honor the Pledge of Allegiance.

- I. **Audience Comments:** David Hampshire expressed his concerns about the Special Permit, Earth Excavation application. He is aware of the Public Hearing scheduled for Monday, December 15, 2025 within the Special Meeting of the same date.
- II. **Approval of Minutes:** Approval of October 20 2025 Public Hearing Minutes; S. Thompson made a motion, seconded by J. Angelone, to approve the minutes as presented. Motion carries 2-0-1. Regular Meeting Minutes: S. Thompson made a motion, seconded by J. Angelone, to approve the minutes as presented. Motion carries 3-0.
- III. **Correspondence:** J. McLevy read Peter Grillo's resignation letter, dated and effective November 10, 2025, from the Planning and Zoning Commission and the Economic Development Commission. The Board of Selectmen will read the letter on 11/19/25.
- IV. **Unfinished Business:**
 - A. Special Permit, Earth Excavation, **Application of Charles Corson, effective 9/15/25, for an Excavation /Quarry Permit for property located on Plainfield Pike, Map 3830 Block 27 Lot 15.** J. Larkin, Consulting Planner, reported that the applicant failed to provide timely abutter's notices therefore this may not move forward; additionally, the State DOT has not yet responded to applicant regarding encroachment. S. Thompson made a motion to hold a Special Planning and Zoning Commission meeting on Monday, December 15, 2025 at 6:30 pm; and hold a Public Hearing in that meeting to hear this Application; seconded by J. Angelone; motion carries 3-0.
 - B. **PZ Proposed Text Amendments Zoning Regulations.** S. Thompson made a motion to approve the Planning and Zoning Text Amendments to Zoning Regulations as presented at the Public Hearing of Monday, November 17, 2025, effective January 1, 2026; seconded by J. Angelone; motion carries 3-0.

C. **PZ Proposed Text Amendments Subdivision Regulations.** S. Thompson made a motion to approve the Planning and Zoning Text Amendments to Subdivision Regulations as presented at the Public Hearing of Monday, November 17, 2025, effective January 1, 2026; seconded by J. Angelone; motion carries 3-0.

V. **New Business:**

- a. **Election of Officers.** S. Thompson made a motion, seconded by J. Angelone, to table until the Special Meeting scheduled on December 15, 2025, as J. Turban is not present. Motion carries 3-0.
- b. **2026 Meeting Schedule** – S. Thompson made a motion, seconded by J. Angelone, to approve the Meeting Schedule as presented. Motion carries 3-0.
- c. Subdivision Application of Judi and Fred Iafrate was received through PermitLink on time, however was not included on this agenda. S. Thompson made a motion to accept the application and include as New Business Agenda item 7.c., motion seconded by J. Angelone, motion carries 3-0. J. Larkin, Consulting Planner, for the record; this is a second resubdivision of a prior subdivision; ZBA granted a 10' variance to the buildable area. This will require a Public Hearing. S. Thompson made a motion, seconded by J. Angelone, to hold a Public Hearing, within the next Regular Meeting on January 12, 2026 for Agenda Item 7.c., application for subdivision; motion carries 3-0. S. Thompson made a motion, seconded by J. Angelone, to table discussion of 7.c. until the Public Hearing; motion carries 3-0.

VI. **ZEO Report:** Report was reviewed.

VII. **Audience Comments:** David Hampshire had general questions about the Commission members and their roles. J. Larkin explained his role as Consulting Planner through NECCOG.

VIII. **Other Business:**

- a. **Regulation Priorities:** Discussion of Section 4.03 will be at the next regular meeting.

IX. **Adjournment:** S. Thompson made a motion, seconded by J. Angelone, to adjourn the meeting at 7:18 pm; motion carries 3-0.

Respectfully Submitted:

Judith Stumpo
Recording Secretary

STERLING PLANNING & ZONING COMMISSION MEETING
REGULAR MEETING MINUTES
1183 PLAINFIELD PIKE, ONECO, CT
MONDAY, NOVEMBER 17, 2025, 6:30 P.M.
AMENDED

Members Present: Jason McLevy, John Angelone, and Stephen Thompson

Members Absent: Jon Turban, with notice

Alternate Members Present: none

Staff Present: Consulting Planner Jim Larkin and Revenue Collector Judy Stumpo

Call to Order: J. McLevy called the meeting to order at 6:30 pm.

Alternate Seated: N/A

Pledge of Allegiance: All stood to honor the Pledge of Allegiance.

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VI. **ZEO Report:** Report was reviewed.

VII. **Audience Comments:** David Hampshire had general questions about the Commission members and their roles. J. Larkin explained his role as Consulting Planner through NECCOG.

VIII. **Other Business:**

- a. **Regulation Priorities:** Discussion of Section 4.03 will be at the next regular meeting.

IX. **Adjournment:** S. Thompson made a motion, seconded by J. Angelone, to adjourn the meeting at 7:18 pm; motion carries 3-0.

Respectfully Submitted:

Judith Stumpo
Recording Secretary

**STERLING PLANNING & ZONING COMMISSION
SPECIAL MEETING MINUTES
1183 PLAINFIELD PIKE, ONECO, CT
MONDAY, DECEMBER 15, 2025, 6:30 P.M.**

Members Present: Jason McLevy, Stephen Thompson, and Jon Turban

Members Absent: John Angelone, with notice

Alternate Members Present: N/A

Staff Present: Selectman Pattie Massey, Revenue Collector Judy Stumpo

Call to Order: J. McLevy called the meeting to order at 6:30 pm.

Alternate Seated: N/A

Pledge of Allegiance: All stood to honor the Pledge of Allegiance.

- I. **Public Hearing:** The Public Hearing was called to order at 6:31pm.
 - a. **Special Permit – Earth Excavation, 0 Plainfield Pike (RT 14A), Charles Corson, Continued from November 17, 2025:** Charles Corson, III and Daniel Blanchette PE for JD Site Design representing C. Corson reviewed the Gravel Excavation Plan, as well as each of the comments, observations and suggestions put forth in Towne Engineering Inc's October 17, 2025 letter to the Planning and Zoning commission.
 - b. Patricia Hoffman, 6 Partridge Drive, Sterling, CT – abutting property owner asked for general information as to how this operation may have an impact on her property, specifically concerned with any damage that could occur to her foundation from blasting. Mr. Corson explained the process and that the need to blast should be only every couple of years because of the type of product they are looking to produce.
 - c. Pattie Massey, Selectman – questioned the traffic impact to Route 14A; the project is requesting a maximum of 10 truck trips per day, which is the equivalent of 5 trucks loading per day; this is a State Highway, therefore it is the State of Connecticut's responsibility to maintain the road.
 - d. David Hampshire's letter of November 17, 2025 opposing the approval of the Special Permit was read into the record.
 - e. S. Thompson made a motion to close the public hearing at 6:51 pm; seconded by J. Turban; motion carried 3-0.
- II. **Unfinished Business:** Special Permit, Earth Excavation, **Application of Charles Corson, effective 9/15/25, for an Excavation /Quarry Permit for property located on Plainfield Pike, Map 3830 Block 27 Lot 15.** D. Blanchette of J&D Site Designs, LLC discussed each of the comments, observations and suggestions from Towne Engineering Inc's October 17, 2025 letter reviewing the Gravel Excavation Plan and Sightline Distance Plan for the Excavation/Quarry Permit. Mr. Blanchette will respond to Towne Engineering formally on each point in a timely manner, thereby allowing Towne Engineering LLC the opportunity for an additional review. Mr. Corson requested an extension of the application to the next regular meeting of the Planning and Zoning Commission, scheduled for January 12, 2026. S. Thompson made a motion to approve the extension requested to the January 12, 2026 meeting; seconded by J. Turban; motion carried 3-0.
- III. **Adjournment:** S. Thompson made a motion, seconded by J. Turban, to adjourn the meeting at 7:48 pm; motion carries 3-0.

Respectfully Submitted:

Judith Stumpo
Recording Secretary



Town of Sterling

Town Hall

1183 Plainfield Pike

P.O. Box 157

Oneco, Connecticut 06373-0157

Selectmen: 564-2904

EXCAVATION ORDNANCE APPLICATION

Town Clerk: 564-2657

THIS FORM MUST BE COMPLETELY FILLED OUT BY THE APPLICANT
(Please type or print legibly)

DATE June 16, 2025 IF RENEWAL DATE OF ORIGINAL APPROVAL

APPLICANT Charles Corson TEL. 860 765 1582

MAILING ADDRESS 160 Sterling Road, Sterling CT 06377 FAX _____

OWNER OF RECORD Estate of Charles Corson JR TEL. _____

MAILING ADDRESS 160 Sterling Road, Sterling CT 06377 FAX _____

APPLICANT'S INTEREST IN PROPERTY: ✓ OWNER LESSEE LESSOR OTHER

APPLICANT'S AGENT Daniel Blanchette, PE LS TEL. _____

MAILING ADDRESS 401 Ravenelle Road, N. Gros. CT 06255 FAX _____

APPLICANT'S ENGINEER/LAND SURVEYOR Daniel - J&D Site Designs LLC

TEL. 860-923-2920 FAX _____ REG. # PE #31338

LOCATION OF SUBJECT PROPERTY: ASSESSOR'S MAP 3830 BLOCK 27 LOT 15

STREET ADDRESS 0 Plainfield Pike CURRENT DEED VOL. 165 PAGE 634

DESCRIBE PROPOSED EXCAVATION: The applicant is seeking approval to remove stone from a 4 acre portion of the subject property. The site has historically been used as a quarry. The applicant and Messier Associates had submitted a similar application for excavation in 2006. The current application is substantially similar to the 2006 application.

ACTIVITIES PROPOSED: (YES OR NO) Yes BLASTING Yes ROCK SPLITTING
No CRUSHING No SCREENING No WASHING

DESCRIBE PROPOSED USE OF PROPERTY AFTER EXCAVATION HAS BEEN COMPLETED:
vacant

TOTAL AREA OF PROPERTY 25.56 acres AREA OF EXCAVATION 4 acres

PROPOSED TOTAL EXCAVATION VOL. _____ ANNUAL EXCAVATION VOL. _____

DURATION OF PERMIT REQUESTED: 5 YEARS

PROPOSED DAYS & HOURS OF OPERATION: Mon-Fri, 7-5 and Sat 8-12

MATERIAL(S) TO BE REMOVED: rock and stone

THE UNDERSIGNED APPLICANT AND LAND OWNER HEREBY CONSENT TO NECESSARY AND PROPER INSPECTIONS OF THE ABOVE PROPERTY BY AGENTS OR COMMISSION MEMBERS OF THE TOWN OF STERLING BOTH BEFORE AND AFTER THE PERMIT IN QUESTION HAS BEEN GRANTED FOR THE PURPOSES OF INSPECTION AND ENFORCEMENT OF THE ORDINANCES OF THE TOWN OF STERLING.

8/7/25 8/7/25
APPLICANT(S) SIGNATURE DATE OWNER(S) SIGNATURE DATE

TO BE COMPLETED BY TOWN:
DATE OF RECEIPT OF APPLICATION: 9/15/2025 APPLICATION #: 1419
DATE OF PUBLIC HEARING: 14/19/2005 APPLICATION FEE: \$100.00
ACTION TAKEN: DATE:

PLAINFIELD PIKE

Location PLAINFIELD PIKE

Mblu 03830/ 027/ 0015/ /

Acct# 00087700

Owner CORSON CHARLES W JR
ESTATE OF

Assessment \$54,760

Appraisal \$127,400

PID 806

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2022	\$0	\$127,400	\$127,400
Assessment			
Valuation Year	Improvements	Land	Total
2022	\$0	\$54,760	\$54,760

Owner of Record

Owner CORSON CHARLES W JR ESTATE OF

Sale Price \$0

Co-Owner

Certificate 2021

Address 160 STERLING RD
STERLING, CT 06377

Book & Page 165/634

Sale Date 03/30/2021

Instrument 10

Qualified U

Ownership History

Ownership History						
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date	
CORSON CHARLES W JR ESTATE OF	\$0	2021	165/634	10	03/30/2021	
CORSON CHARLES W JR	\$125,000		113/819	07	02/09/2006	

Building Information

Building 1 : Section 1

Year Built:

Living Area: 0

Basement	
Usrfd 706	

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

		Land Line Valuation	
Use Code	4100	Size (Acres)	25.52
Description	SAND&GRAVL&MINING MDL-00	Frontage	
Zone		Depth	
Neighborhood	1000	Assessed Value	\$54,760
Alt Land Appr	No	Appraised Value	\$127,400
Category			

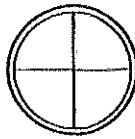
Outbuildings

Outbuildings	Legend
No Data for Outbuildings	

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2024	\$0	\$127,400	\$127,400

Assessment			
Valuation Year	Improvements	Land	Total
2024	\$0	\$54,760	\$54,760



TOWNE ENGINEERING, INC.

PROFESSIONAL ENGINEERS • LAND SURVEYORS • EXPERT WITNESS

MAIL: P.O. BOX 162 SOUTH WINDHAM, CT 06266

OFFICE: 1 RICHMOND LANE, WILLIMANTIC, CT 08226

(860) 423-6371 • (860) 889-2100 • Fax (860) 423-5470

*Review
16/06/2025*

DONALD R. AUBREY, P.E., L.S.
JOSEPH H. BOUCHER, M.S., L.S.

October 17, 2025

Planning and Zoning Commission
Town of Sterling
P.O. Box 157
Oneco, CT 06373-0157

Attn: James Larkin, Town Planner

Re: Special Permit and Excavation Permit Review
Charles Corson, III – Map 3830 Block 27 Lot 15
Route 14A, Plainfield Pike
TEI Job #25-055

Materials Reviewed:

1. Gravel Excavation Plan
Prepared For
Charles Corson III
Lot 15, Route 14A Plainfield Pike, Sterling CT
Dated; June 20, 2025, Revised: N/A
J&D Site Designs LLC

2. Sightline Distance Plan
Charles Corson III
Plainfield Pike, Sterling CT
Map 3830 Block 27 Lot 15
Dated; June 20, 2025
Sheet 1 of 1
J&D Site Designs LLC

Basis of Review: Zoning Regulations Town of Sterling
Latest Revision: Adopted October 21, 2024;
Effective Date November 18, 2024

Dear Commissioners,

We have reviewed the plans referenced above along with our file for a very similar proposal from 2006-2007 where on April 4, 2007 the Board of Selectmen approved an Excavation Permit. Today we walked the site to observe the current conditions.

October 17, 2025

Sterling Planning and Zoning Commission
Special Permit & Excavation Permit Review
Charles Corson, III – Map 3830 Block 27 Lot 15
Route 14A, Plainfield Pike
TEI Job #25-055
Page 2 of 4

We offer the following comments, observations and suggestions for the Commission's consideration:

1. There is an abandoned excavator on site that has been vandalized and is leaking fluids. A hydraulic hammer that appears to have been used on that excavator is laying in the bushes near the excavator.
2. The existing limits of disturbance are not clearly shown in the current plan set but seem to be bigger than portrayed and, in our opinion, should be accurately shown for the review of the current application. We did not observe any signs of any recent surveying activities on the property.
3. We noticed a few large diameter bore holes which seem to indicate that there had been blasting utilized as part of the previous excavation operations.
4. There are many existing piles of loose rock and boulders in various locations over the site.
5. Our initial impression was that all of the overburden and top soil had been removed from the site but we did find an area that appears to be an overgrown stockpile which should be located, shown on the plans, and preserved for site restoration efforts.
6. The current application submission is nearly identical to the plans from the 2006-2007 plan set that were prepared by Messier & Associates with the major difference of reducing the size of the proposed excavation by $\frac{1}{2}$ acre, and to move the limits of the proposed excavation away from the easterly property line to meet the current required 100 foot setback to a property line.
7. The plans in our file from 2006 indicate that at that time there was already a portion of the site that had been used as a quarry. It is not clear to us how much material was removed under the 2007 approval.
8. Sheet 4 of 4 of the current plan set appears to have been taken directly from the 2006-2007 plan set which was based on the Excavation Ordinance applicable at that time and has not been updated to conform with the requirements of the current Zoning Regulations and needs to be revised to do so along with fixing the typo in the title block which identifies a different project and owner.
9. The plans received are unsigned. On sheet #2 of this plan set is the reported existing conditions plan/Boundary Survey for this project, and is also unsigned and is missing angles and distances pertaining to the subject property boundary and needs to be revised to meet the survey standards recited. It is odd that the notes on sheet #3 indicate that no boundary opinion is expressed which is in conflict with the notes and standards recited on sheet #2.

10. On sheet 3 of 4 note #1 indicates that the topography is T-2 standards which would need to be prepared following an actual field survey. No benchmarks are shown or were observed in the field that are required to meet the requirement of Section 20-300b-4.(a) of the Regulations of the State of Connecticut. Reference should be made to Section 7.04.E.2.f for the topography standards.
11. The plan set is missing details for the proposed haul road and paved parking pad, and currently does not show the limits of proposed site clearing. The plan also contains a detail for rip rap drainage swale and drainage swale check dam, but do not see where these are proposed as part of this project.
12. The 2007 Excavation Permit approval required a \$32,534 bond of which \$5,000 was to be in cash and \$27,534 could be provided as an Irrevocable Letter of Credit. No new or updated E&S cost estimate have been presented for our review as part of this application.
13. Our file contains a letter dated January 22, 2007 from John DeCastro, Special Services Section Manager for CDOT District II where it seems to indicate that the sightline improvement proposed as part of the previous application had been approved and that the next step would be to apply for an Encroachment Permit. It is clear that the sight line improvements necessary to the west, uphill, of the existing site access driveway as proposed in the previous application were not completed and that adequate site line to the west does not currently exist.
 - a. We do however note that the 15" culvert that was proposed in 2006-2007 at the edge of Plainfield Pike is not part of the current proposal, and we think this proposed haul road should have the previously proposed culvert but that the culvert be located in at the low point approximately 100 feet southerly of Plainfield Pike.
14. Regulation Compliance:
 - a. Section 6.03.E.1: The list of all property owners within 300 feet has not been provided in the materials provided for our review.
 - b. Section 6.03.E.2: The report required for the removal of bedrock required by this section has not been provided for our review.
 - c. Section 6.03.E.5: Following any approval granted evidence of complying with DEEP Stormwater Permitting will be necessary.
 - d. Section 6.03.E.7.a: Not all of the homes within 1000 feet of the property line have been shown. In particular, the Hoffman home located at 6 Partridge Place is located based on measurements taken from the Sterling GIS **less than 400** feet to the limits of the existing limits of excavation.
 - e. Section 6.03.E.7.b: Cross-sections have not been provided.
 - f. Section 6.03.E.7.d: The plans propose the hours of operation from 7am until 6 pm on Monday thru Friday and 7 am until noon on Saturday. The hours of operation adopted must comply with Section 6.03.F.13 which are 7:00 am to 5:00 pm

October 17, 2025

Sterling Planning and Zoning Commission
Special Permit & Excavation Permit Review
Charles Corson, III – Map 3830 Block 27 Lot 15
Route 14A, Plainfield Pike
TEI Job #25-055
Page 4 of 4

Monday through Friday and 8:00 am to noon on Saturdays and no Sundays or federally recognized holidays.

- g. Section 6.03.E.7.f: The signature blocks required by this section are not current on the plans submitted and reviewed.
- h. Section 6.03.E.7.g: No cost estimate required by this section has been provided for our review.
- i. Section 6.03.F.2: This excavation will be dug down into bedrock. The Applicant, in our opinion, should be asked about the future viable uses for this property.
- j. Section 6.03.F.15.e: This section requires a final soil section of 12" or more but the current plans only call for 4" of topsoil.
- k. Section 7.05.C.3: The current DEEP NDDB mapping, dated June 2025 and the Town of Sterling GIS indicates that almost this entire site is located within an area that has been identified as having a State and Federal Listed Species. This area should be shown of the plans for this application and is necessary during submission of the D.E.E.P. stormwater permitting.

15. The Applicant, in our opinion, should explain in detail the method of proposed excavation, rock splitting, and onsite processing. **During our site walk we noted that the area proposed for excavation is located at a high point above the homes on Partridge Place.** Clearly these activities will occur well within 1000 feet of residential structures and appear could be as close as **400 feet** to an existing residential structure and the undeveloped lots on Partridge Place and it should be determined by the Commission if the methods of excavation and material processing being proposed comply with the requirements of Section 6.03.F.10.

As always, please feel free to contact us at any time if you have any questions or if you would like us to review new or revised materials associated with this application.

Respectfully Submitted,



Matthew D. Maynard, P.E.
Consulting Town Engineer
Owner Towne Engineering, Inc.



Joseph H. Boucher, M.S., L.S.
For: Towne Engineering, Inc.

Cc: Lincoln Cooper, First Selectman
Daniel Blanchette, P.E., L.S J&D Site Designs

GRAVEL EXCAVATION PLAN

PREPARED FOR
CHARLES W. CORSON III

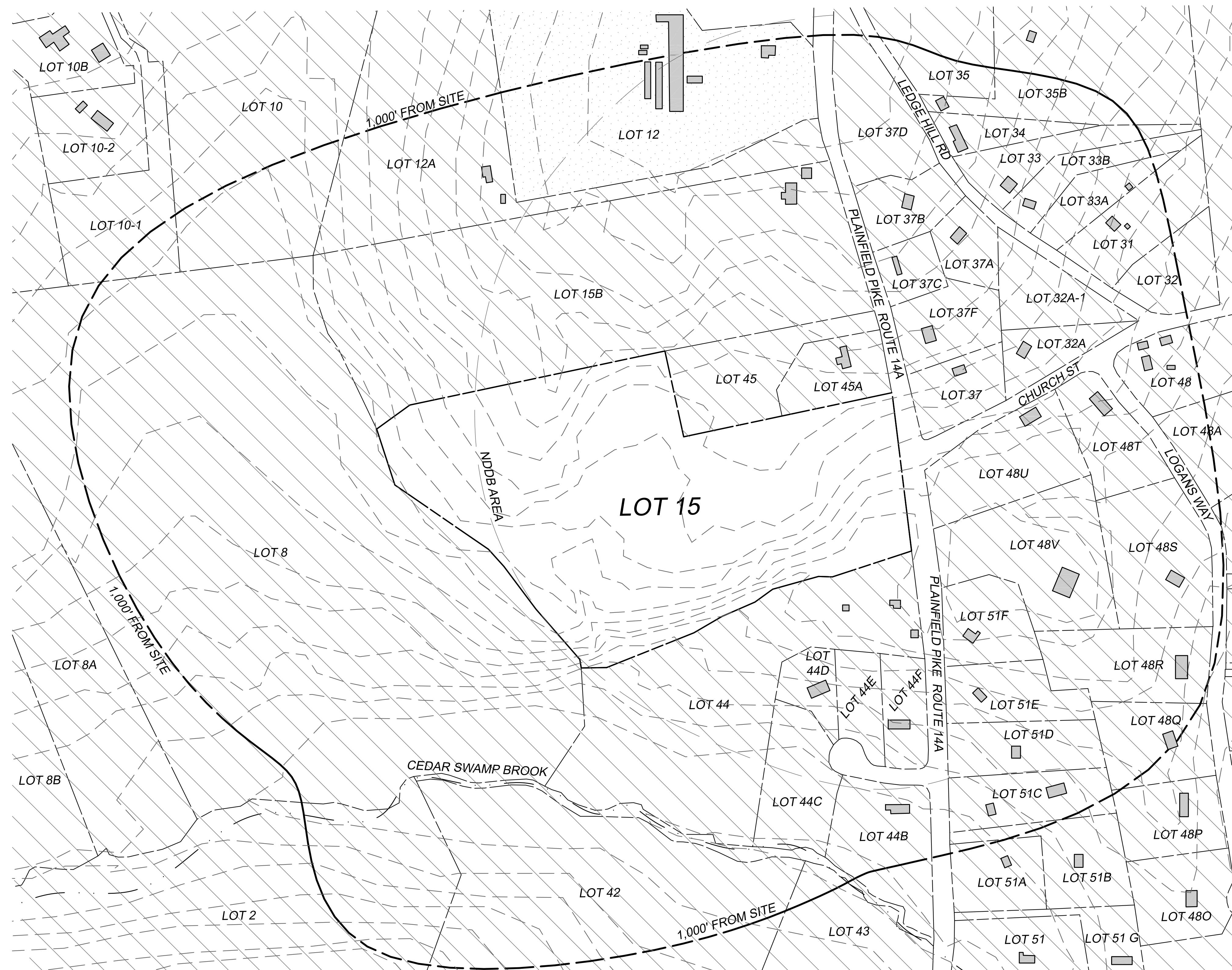
LOT 15, ROUTE 14A PLAINFIELD PIKE, STERLING CT
DATED: JUNE 20, 2025, REVISED: JANUARY 5, 2025

APPLICANT

CHARLES W. CORSON III,
EXECUTOR OF THE ESTATE
OF CHARLES W. CORSON JR
160 STERLING ROAD
STERLING CT 06377

INDEX OF DRAWINGS

- 1 COVER
- 2 EXISTING CONDITIONS
- 3 EXCAVATION PLAN
- 4 CROSS SECTIONS
- 5 NOTES AND DETAILS



COMPILATION PLAN
SCALE 1" = 200'

LEGEND

-----	10' CONTOUR LINE
-----	WATER
-----	PROPERTY LINE
-----	ABUTTING PROPERTY LINE
-----	1,000' RADIUS FROM SITE
-----	RESIDENTIAL USE
-----	NON-RESIDENTIAL USE

APPROVED TOWN ENGINEER	
NAME	DATE
APPROVED CHAIRMAN, INLAND WETLANDS AND WATER COURSES COMMISSION	
CHAIRMAN	DATE
APPROVED CHAIRMAN, PLANNING & ZONING COMMISSION	
CHAIRMAN	DATE
APPROVED BOARD OF SELECTMAN	
FIRST SELECTMAN	DATE
PERMIT EXPIRES:	

SURVEY NOTES

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019.

SURVEY TYPE: BOUNDARY SURVEY

PURPOSE: TO DEPICT PROPERTY LINES AND EXISTING CONDITIONS

HORIZONTAL ACCURACY: CLASS A2

HORIZONTAL DATUM: NAD 83

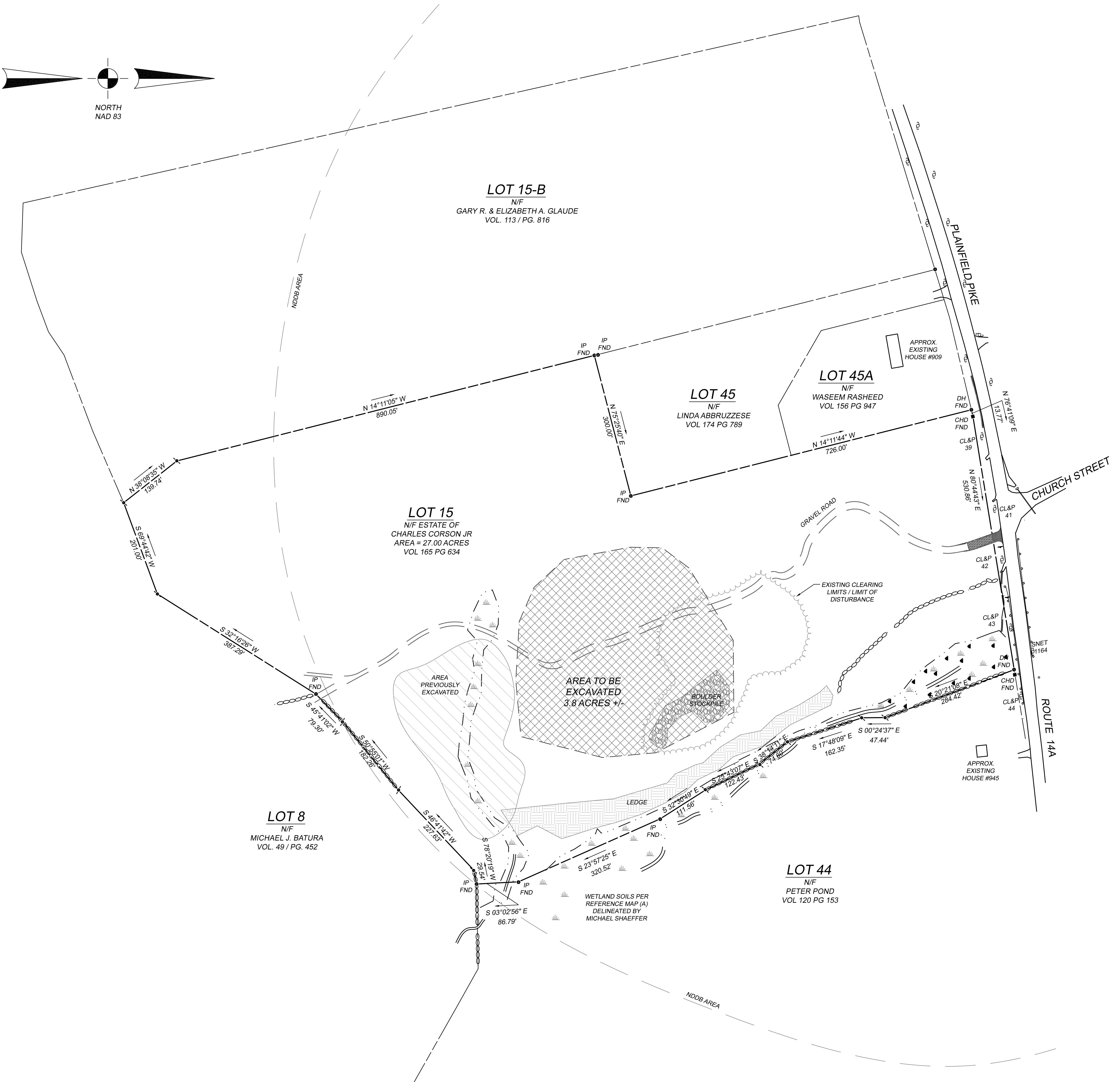
VERTICAL DATUM: NAVD 88

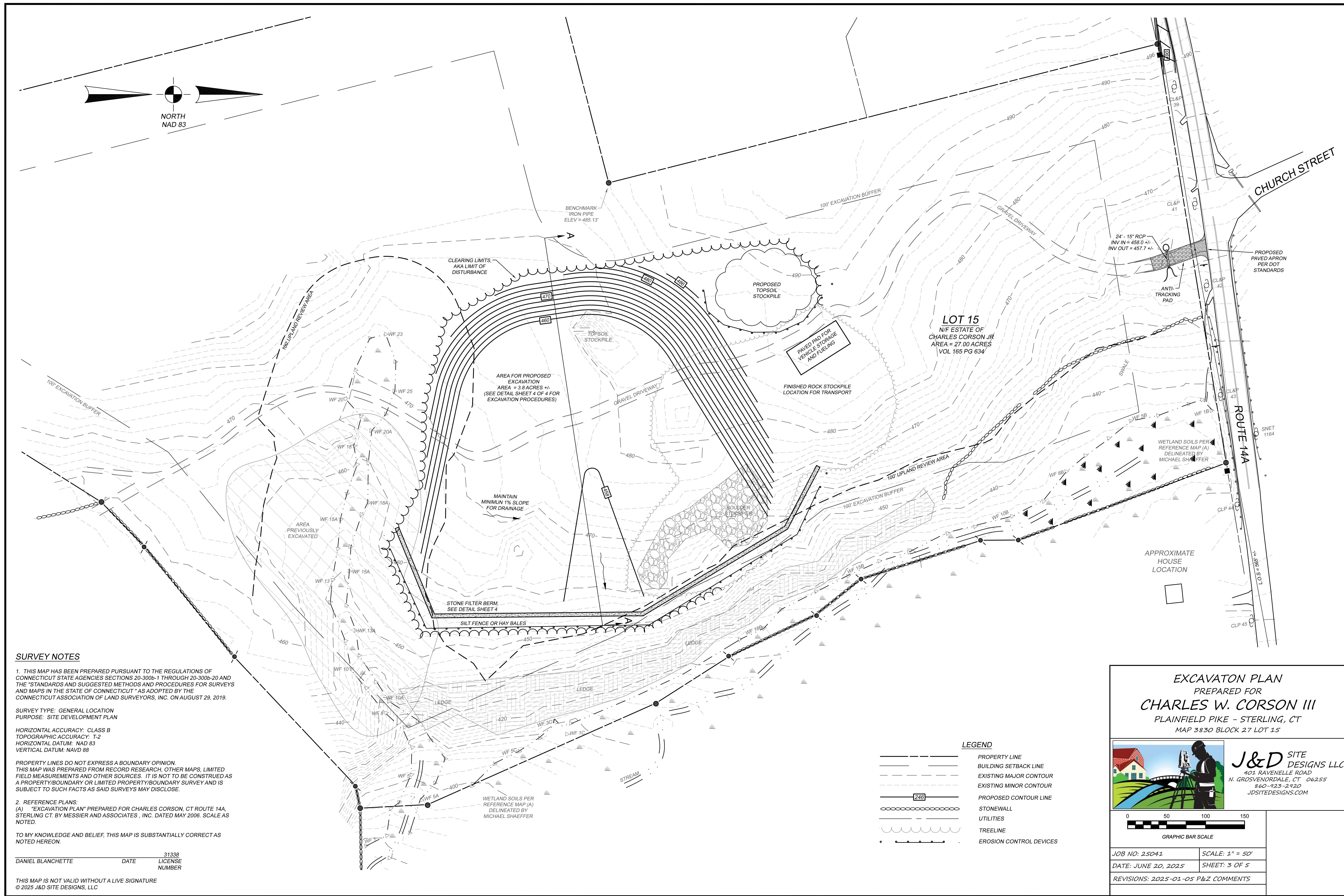
2. REFERENCE PLANS:
(A) "PERIMETER SURVEY" PREPARED FOR CHARLES CORSON, CT ROUTE 14A, STERLING CT. BY MESSIER AND ASSOCIATES, INC. DATED MAY 2006. SCALE AS NOTED.

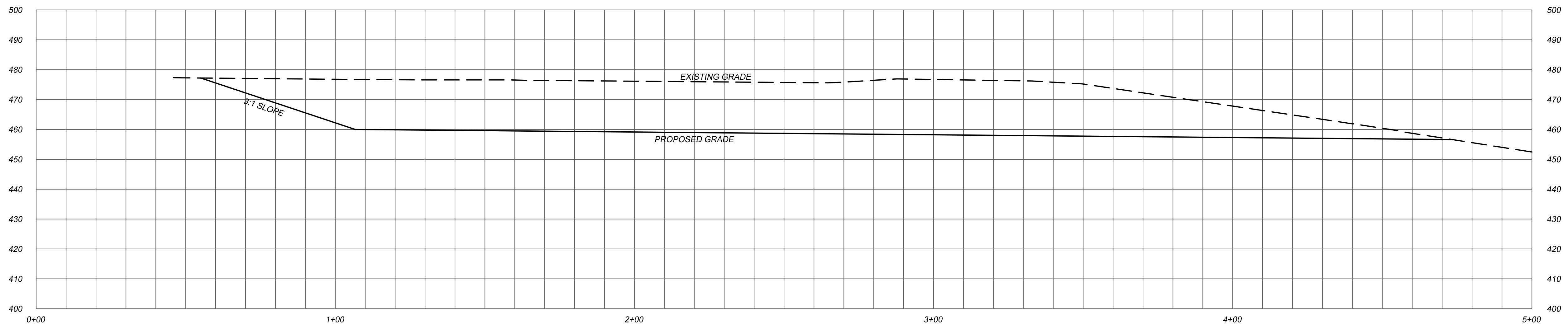
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

DANIEL BLANCHETTE DATE 31338 LICENSE NUMBER

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE
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SECTION A-A: EXISTING AND PROPOSED GRADES

1" = 20'

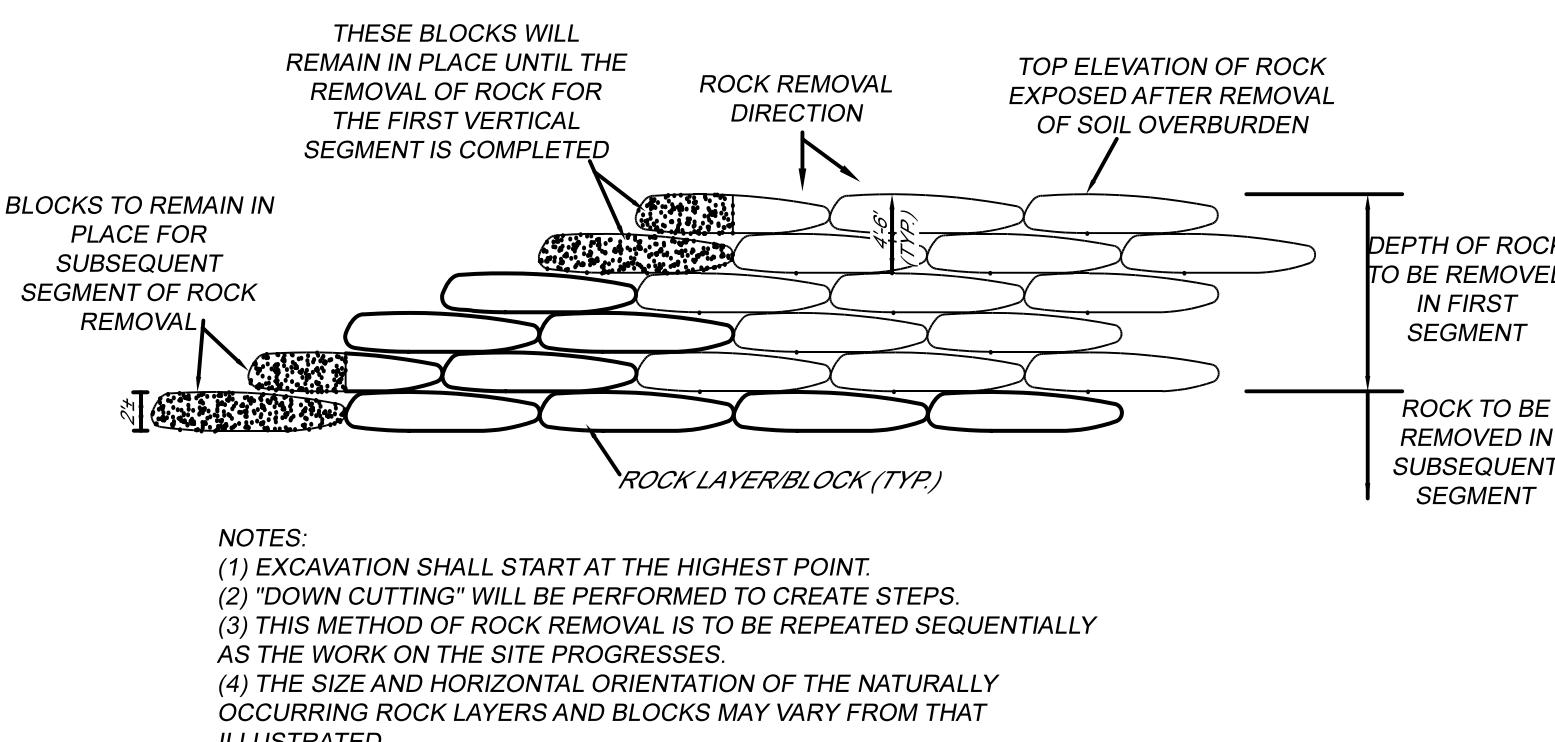


ILLUSTRATION OF ROCK REMOVAL METHOD
(NOT TO SCALE)

EXCAVATION CROSS SECTION
PREPARED FOR
CHARLES W. CORSON III
PLAINFIELD PIKE - STERLING, CT
MAP 3830 BLOCK 27 LOT 15



J&D SITE
DESIGNS LLC
401 RAVENELLE ROAD
N. GROSVENORDALE, CT 06255
860-423-2220
JDSITEDESIGNS.COM

0 20' 40' 60'
GRAPHIC BAR SCALE

JOB NO: 25041 SCALE: 1" = 20'

DATE: JANUARY 5, 2025 SHEET: 4 OF 5

REVISIONS:

EROSION AND SEDIMENT CONTROL AND SITE RESTORATION PLAN

1. IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE LATEST REVISION OF THE "CONNECTICUT GUIDELINES FOR EROSION AND SEDIMENT CONTROL", AS PUBLISHED BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION. TO PREVENT EROSION AND THE TRANSPORT OF SEDIMENT FROM THE ACTIVITIES ASSOCIATED WITH THIS PROJECT, THIS PLAN AND THE GUIDELINES SHALL BE STRICTLY FOLLOWED.

2. THE OBJECTIVE OF THIS PROJECT IS TO EXCAVATE A PORTION OF THE PROPERTY TO EXTRACT MINERAL RESOURCES (ROCK/STONE). THE EXCAVATION ACTIVITIES ARE EXPECTED TO OCCUR FOR APPROXIMATELY 5 YEARS BEGINNING IN THE SPRING OF 2026. ALL OF THE AREA DISTURBED BY THE EXCAVATION ACTIVITIES ON THIS SITE WILL BE PERMANENTLY RESTORED BY THE ESTABLISHMENT OF A COMPLETE VEGETATIVE COVER EXCEPT FOR ANY AREAS OF ROCK OR STONE FACE WHICH MAY REMAIN EXPOSED, IN ACCORDANCE WITH THE PROCEDURES AND DETAILS HEREON.

3. THE PROPOSED INTERIM GRADING FOR THIS SITE, AND/OR FOR EACH PHASE OF EXCAVATION AND RESTORATION ON THIS SITE, AS APPLICABLE, IS SUCH THAT A GROUND SURFACE WITH AN ELEVATION HIGHER THAN THE SURFACE OF THE LOWEST PORTION OF THE EXCAVATED AREA WILL REMAIN AROUND THE PERIMETER OF THE EXCAVATED AREA. THIS WILL ESSENTIALLY ELIMINATE THE POSSIBILITY OF ANY TRANSPORT OF SEDIMENT TO THE WETLANDS AREAS OR THE PROTECTED BUFFERS ADJACENT TO THE EXCAVATION SITE, AND WILL CONTAIN ALL COLLECTED SURFACE AND GROUNDWATER RUNOFF WITHIN THE ACTIVE WORKING AREA, WHERE IT MAY INFILTRATE INTO THE GROUND. DURING THE COURSE OF OPERATIONS ON THE SITE, THE WETLANDS AND BUFFERS (IF APPLICABLE) WILL BE FURTHER PROTECTED FROM EROSION AND SEDIMENTATION BY A FILTERED ROCK AND STONE BARRIER WHICH WILL BE INSTALLED ALONG THE EASTERN PERIPHERY OF THE PROPOSED EXCAVATION AREA, AS SHOWN ON THE DRAWINGS AND AS DESCRIBED HEREIN. THIS BARRIER SHALL BE INSTALLED AND MADE FUNCTIONAL AS THE FIRST MEASURE OF WORK TO BE PERFORMED ON THIS SITE, PRIOR TO ANY CLEARING, EXCAVATION, OR OTHER ACTIVITIES OCCURRING.

4. AFTER THE INITIAL EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE, THE WORK ON THE SITE SHALL PROCEED IN THE FOLLOWING RECOMMENDED SEQUENCE:

A. CONSTRUCT TEMPORARY GRAVEL ACCESS DRIVEWAY(S) FROM THE EXISTING ACCESS ROAD TO THE PROPOSED EXCAVATION AREA.

B. CONSTRUCT A PAVED PAD FOR EQUIPMENT STORAGE AND MAINTENANCE IN THE LOCATION AS SHOWN ON THESE DRAWINGS.

C. CLEAR AND GRUB THE AREAS OF PROPOSED EXCAVATION, ROCK REMOVAL AND RESTORATION, INCLUDING ANY NECESSARY REMOVAL OF EXISTING SITE FEATURES. MATERIALS REMOVED SHALL BE DISPOSED OF ON OR OFF THE PROPERTY AWAY FROM THE WORK AREA AND OUTSIDE OF WETLANDS, ASSOCIATED REGULATED AREAS AND NON-DISTURBED BUFFERS.

D. STRIP AND STOCKPILE ANY EXISTING TOPSOIL (A HORIZON SOIL) AND LOAM OVERBURDEN (B HORIZON SOIL) FROM THE WORKING AREA TO BE EXCAVATED, AND STOCKPILE ON THE SITE IN THE LOCATION SHOWN ON THESE DRAWINGS, FOR USE AS THE COVER MATERIAL FOR RESTORATION OF THE SITE ONCE THE EXCAVATION ACTIVITIES ARE COMPLETE FOR ANY PARTICULAR PHASE OR PORTION THEREOF. THE A & B HORIZON SOILS SHALL BE STRIPPED AND STOCKPILED SEPARATELY. THE STOCKPILES SHALL BE PROTECTED FROM EROSION AND SEDIMENT TRANSPORT AS DESCRIBED BELOW. NO SURPLUS TOPSOIL, SUBSOIL OR OTHER SOIL LAYERS REQUIRING EXCAVATION TO ACCESS THE ROCK PROPOSED FOR REMOVAL SHOULD BE REMOVED FROM THE SITE UNTIL THE SITE WORK IS COMPLETED OR ANY INTERRUPTED OPERATIONS HAVE BEEN FULLY STABILIZED AND PROPERLY RESTORED.

E. COMMENCE EXCAVATION AND ROCK REMOVAL ACTIVITIES.

NOTE: STEPS C-E ABOVE SHALL APPLY FOR ANY PARTICULAR PHASE OR SEGMENT OF THE EXCAVATION PROCESS ON THE SITE, AS APPLICABLE.]

F. TEMPORARILY OR PERMANENTLY STABILIZE DISTURBED AREAS AS EXCAVATION ACTIVITIES PROGRESS. PERMANENT RESTORATION SHALL OCCUR AS SOON AS ANY PARTICULAR SECTION OF THE EXCAVATED SITE HAS ACHIEVED FINAL SUBGRADE, AND TEMPORARY RESTORATION SHALL OCCUR WHEN ANY PARTICULAR SECTION HAS ACHIEVED AN INTERIM FINISHED SUBGRADE, SUCH AS FOR THE SURFACE OF A VERTICAL SUBPHASE, SO THAT RESTORATION OF THE SITE PROGRESSES AS THE EXCAVATION ACTIVITIES PROGRESS, AND ONLY THE ACTIVE WORKING AREA, AT ANY PARTICULAR TIME THROUGHOUT THE DURATION OF EXCAVATION ACTIVITIES ON THIS SITE, IS WITHOUT TEMPORARY OR PERMANENT VEGETATIVE COVER.

5. STOCKPILED SOILS SHALL BE PROTECTED FROM WIND AND WATER EROSION BY A TEMPORARY VEGETATIVE COVER OF PERENNIAL RYEGRASS, TACKIFIED MULCH OR EROSION CONTROL BLANKETS APPLIED TO THEIR SURFACES. THE BASE OF SOIL STOCKPILES SHALL ALSO BE SURROUNDED BY STAKED GEOTEXTILE SILT FENCE AND/OR STAKED HAYBALE SEDIMENT BARRIERS, TO PREVENT TURBID RUNOFF FROM EXITING THE IMMEDIATE AREA.

6. ALL AREAS DISTURBED BY THE EXCAVATION ACTIVITIES SHALL BE PERMANENTLY RESTORED BY PLACEMENT OF TOPSOIL AND LOAM AND ESTABLISHMENT OF GRASS COVER, IN ACCORDANCE WITH THE FOLLOWING PROCEDURE. THE PERMANENT RESTORATION SHALL BE PERFORMED AS THE FINAL LANDFORM IS ACHIEVED UPON COMPLETION OF ANY PARTICULAR PHASE OR SEGMENT OF THE WORK, AS DESCRIBED ABOVE.

A. FOR ALL DISTURBED AREAS WHICH ARE TO BE PERMANENTLY RESTORED, TOPSOIL WHICH HAS BEEN STOCKPILED ON THE SITE (OR WHICH MAY BE IMPORTED FROM AN OFF-SITE SOURCE) SHALL BE SPREAD ON THE FINISHED SUBGRADE SURFACE TO A MINIMUM SETTLED DEPTH OF 4 INCHES, WITH A MINIMUM OF 8 INCHES OF SUBSOIL AND AS STATED IN SECTION 6.03 F.15.e OF THE STERLING ZONING REGULATIONS.

B. LIME WITH 2000 LB/ACRE OF 100% (= 45.9 LB/1000 S.F.) EFFECTIVE NEUTRALIZING VALUE (ENV) DOLOMitic LIME, OR AS OTHERWISE ESTABLISHED BY LABORATORY TESTING OF SAMPLES OF THE ACTUAL SOIL TO BE PLACED AND SPREAD ON THE AREAS TO BE PLANTED.

C. APPLY 10-20-20 FERTILIZER AT A RATE OF 500 LB/ACRE, (=11.5 LB/1000 S.F.) OR AS OTHERWISE ESTABLISHED BY LABORATORY TESTING OF SAMPLES OF THE ACTUAL TOPSOIL PLACED AND SPREAD ON THE AREAS TO BE PLANTED.

D. WORK LIME AND FERTILIZER INTO THE TOPSOIL UNIFORMLY TO A DEPTH OF 4 INCHES BY HAND OR WITH SUITABLE EQUIPMENT, FOLLOWING THE FINISH CONTOURS.

E. SMOOTH AND FIRM THE PREPARED TOPSOIL BED AND REMOVE ALL STONES 3 INCHES OR LARGER IN ANY DIMENSION, AND ALL OTHER EXTRANEOUS DEBRIS AND SOIL CLUMPS, FROM THE SURFACE. ALL TRAFFIC SHALL BE PREVENTED FROM ENTERING THE AREAS WHERE THE SEEDBED HAS BEEN PREPARED AND IS READY FOR SEEDING.

F. SPREAD GRASS SEED ON THE PREPARED TOPSOIL SURFACE BY HAND BROADCASTING, HYDROSEEDING OR OTHER AGRONOMICALLY ACCEPTABLE PROCEDURE. ON RELATIVELY LEVEL OR GENTLY SLOPING SURFACES, RAKE IN BY HAND OR MACHINE TO OBTAIN 1-2 INCHES OF SOIL COVER OVER THE SEED (IF NOT HYDROSEEDED). ON STEEPER SLOPES, THE SEED SHALL BE "TRACKED IN" WITH A HEAVY BULLDOZER BY MOVING UP AND DOWN SLOPE, OFFSETTING EACH PASS SO THAT THE ENTIRE AREA IS COVERED WITH TRACKS. THE SEED MIXTURE AND APPLICATION RATE FOR PERMANENT RESTORATION OF DISTURBED AREAS SHALL BE THE FOLLOWING.

CREEPING RED FESCUE	20 LB/AC.	0.50 LB/1000 S.F.
REDTOP (STREEKER, COMMON)	2 LB/AC.	0.05 LB/1000 S.F.
PERENIA RYE GRASS	20 LB/AC.	0.50 LB/1000 S.F.
TOTAL	42 LB/AC.	1.05 LB/1000 S.F.

ONLY "CERTIFIED" SEED VARIETIES SHALL BE USED, AS LISTED IN ARTICLE M.13.04 OF CONNECTICUT D.O.T. "FORM 816", AS AMENDED. SEEDING IS RECOMMENDED ONLY DURING THE PERIODS OF APRIL 1 THROUGH JUNE 15 AND AUGUST 15 THROUGH OCTOBER 1.

G. IF NOT SEASONABLY POSSIBLE TO PERFORM PERMANENT SEEDING, OR IF INCOMPATIBLE WITH ONGOING EXCAVATION OPERATIONS, TEMPORARILY SEED THE DISTURBED AREAS WITH PERENNIAL RYEGRASS HAVING A MINIMUM PURITY OF 98 PERCENT AND A MINIMUM GERMINATION OF 90 PERCENT, APPLIED AT THE RATE OF .30 LB/ACRE (= .09 LB/1000 S.F.)

H. WHETHER PERMANENTLY OR TEMPORARILY STABILIZED, MAINTAIN AND REPAIR ALL NEWLY RESTORED AREAS UNTIL VEGETATION IS WELL ESTABLISHED AND GROWING SELF-SUFFICIENTLY.

I. THE DISTURBANCE OF THE LAND SHALL NOT EXCEED THE LIMITS AS INDICATED ON THE DRAWINGS AND/OR AS MARKED ON THE SITE BY THE SURVEYOR. THE LIMITS OF DISTURBANCE FOR EACH PHASE OF THE EXCAVATION AND RESTORATION OPERATION, AS APPLICABLE, WILL BE ESTABLISHED IN THE FIELD BY THE SURVEYOR, PRIOR TO STARTING ANY ACTUAL EXCAVATION ACTIVITIES.

J. EXCAVATION AND RESTORATION TAKING PLACE AS THE WORK PROGRESSES SHALL BE DONE IN A MANNER TO ALLOW DRAINAGE TOWARD THE EXCAVATED AREA AND/OR EROSION AND SEDIMENT CONTROL BARRIERS. CONCENTRATED RUNOFF SHALL NOT BE PERMITTED TO OVERFLOW NEWLY GRADED AREAS, SEDIMENT BARRIERS OR OTHER EROSION AND SEDIMENT CONTROL MEASURES. IF ANY ACCUMULATED STORMWATER OR GROUNDWATER RUNOFF OCCURS IN AN ACTIVE ROCK REMOVAL WORKING AREA AND MUST BE REMOVED TO ALLOW CONTINUED WORK IN THAT AREA, IT SHALL BE PUMPED FROM THE WORK AREA TO THE VICINITY OF THE FILTERED ROCK AND STONE BARRIER AT THE SOUTHERN PERIMETER OF THE EXCAVATED AREA.

K. WHERE SEASONABLY POSSIBLE AND WHERE ONGOING EXCAVATION ACTIVITIES PERMIT, THE DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED AS THE WORK PROGRESSES, AS DESCRIBED ABOVE. WHEN PERMANENT STABILIZATION IS NOT TIMELY OR POSSIBLE, THE DISTURBED AREAS SHALL BE TEMPORARILY STABILIZED, AS ALSO DESCRIBED ABOVE.

L. DURING THE ENTIRE PERIOD OF EXCAVATION AND RESTORATION ON THE SITE, ALL DISTURBED AREAS OF THE SITE THAT HAVE NOT BEEN PERMANENTLY STABILIZED, STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, IMMEDIATELY AFTER EACH RAINSTORM WITH A RAINFALL TOTAL OF ONE-HALF INCH OR GREATER, AND AT LEAST DAILY DURING A MAJOR STORM EVENT OR DURING A PERIOD OF PROLONGED RAINFALL. ACCUMULATED DEPOSITS OF SEDIMENT AND SILT SHALL BE PERIODICALLY REMOVED FROM THE UPHILL SIDE OF THE EROSION AND SEDIMENT CONTROL CHECKS, AND UPON ESTABLISHMENT OF PERMANENT SEEDING. SUCH MATERIALS REMOVED SHALL BE TRANSPORTED FROM THE IMMEDIATE WORK AREA AND SPREAD AND STABILIZED OUTSIDE OF WETLANDS AND ASSOCIATED REGULATED AREAS AND NON-DISTURBED BUFFERS, IN LOCATIONS WHICH ARE NOT SUBJECT TO EROSION, OR REMOVED FROM THE SITE. SILT FENCE AND HAYBALE SEDIMENT BARRIERS AND OTHER EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPLACED AS NECESSARY THROUGHOUT THE DURATION OF THE WORK ON THE SITE, IN ORDER TO MAINTAIN COMPLETE AND INTEGRAL EROSION AND SEDIMENT CONTROL PROTECTION.

M. SPREAD AND COMPACT THE EXCAVATED MATERIALS ON THE SITE AS NEEDED. ALSO THROUGHOUT THE DURATION OF THE WORK ON THIS SITE, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES, BEYOND THOSE SHOWN ON THE PLANS AND/OR PRESCRIBED HEREIN, SHALL BE IMPLEMENTED AS MAY BE DEEMED NECESSARY BY SITE CONDITIONS AND/OR AS ORDERED BY THE TOWN OF STERLING. ONCE IN PLACE, ALL EROSION AND SEDIMENT CONTROL FACILITIES AND MEASURES ARE TO REMAIN IN PLACE AND IN PROPER FUNCTIONING CONDITION AND BE CONTINUOUSLY MAINTAINED UNTIL ALL DISTURBED AREAS UPGRADED OF SAID FACILITIES ARE PERMANENTLY STABILIZED AND ALL NEW VEGETATION IS WELL ESTABLISHED AND GROWING SELF-SUFFICIENTLY.

N. FOLLOWING RE-ESTABLISHMENT OF PERMANENT VEGETATIVE COVER, THE EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE DISMANTLED, REMOVED AND DISPOSED OF IN AN APPROVED MANNER.

O. A QUALIFIED INDIVIDUAL SHALL BE DESIGNATED BY THE PROPERTY OWNER AND/OR EXCAVATION CONTRACTOR TO BE PERSONALLY RESPONSIBLE FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL AND SITE RESTORATION PLAN AND ENFORCING THE PRESCRIBED EROSION AND SEDIMENTATION CONTROL SAFEGUARDS DURING THE ENTIRE PERIOD OF OPERATIONS ON THIS SITE. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES THROUGHOUT THE WORK PERIOD, INFORMING ALL PARTIES ENGAGED ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFYING THE PROPER TOWN AGENCIES AND OFFICIALS OF ANY TRANSFER OF THIS RESPONSIBILITY, AND CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

P. ALL DISTURBED AREAS WHICH ARE TO BE PERMANENTLY RESTORED, TOPSOIL WHICH HAS BEEN STOCKPILED ON THE SITE (OR WHICH MAY BE IMPORTED FROM AN OFF-SITE SOURCE) SHALL BE SPREAD ON THE FINISHED SUBGRADE SURFACE TO A MINIMUM SETTLED DEPTH OF 4 INCHES, WITH A MINIMUM OF 8 INCHES OF SUBSOIL AND AS STATED IN SECTION 6.03 F.15.e OF THE STERLING ZONING REGULATIONS.

Q. LIME WITH 2000 LB/ACRE OF 100% (= 45.9 LB/1000 S.F.) EFFECTIVE NEUTRALIZING VALUE (ENV) DOLOMitic LIME, OR AS OTHERWISE ESTABLISHED BY LABORATORY TESTING OF SAMPLES OF THE ACTUAL SOIL TO BE PLACED AND SPREAD ON THE AREAS TO BE PLANTED.

R. APPLY 10-20-20 FERTILIZER AT A RATE OF 500 LB/ACRE, (=11.5 LB/1000 S.F.) OR AS OTHERWISE ESTABLISHED BY LABORATORY TESTING OF SAMPLES OF THE ACTUAL TOPSOIL PLACED AND SPREAD ON THE AREAS TO BE PLANTED.

EXCAVATION OPERATIONS AND STORMWATER MANAGEMENT PLAN

STORMWATER MANAGEMENT PRACTICES

1. THERE ARE TWO SOURCES OF POTENTIAL STORMWATER CONTAMINATION WHICH MAY OCCUR DURING THE EXCAVATION, ROCK REMOVAL AND RESTORATION OPERATIONS ON THE SITE AS PROPOSED. THE FIRST AND MOST SIGNIFICANT POTENTIAL SOURCE IS ERODED SOIL PARTICLES, WHICH MIGHT BE DEPOSITED AS SEDIMENT IN DOWNSTREAM WATER RESOURCES IF NOT CONTROLLED ON SITE.

2. IN ADDITION TO THE PHYSICAL INTRODUCTION OF SEDIMENT INTO A WATER RESOURCE, SEDIMENTS MAY CARRY OTHER CHEMICAL CONSTITUENTS ADSORBED TO SOIL PARTICLES. SPECIFIC SEDIMENT AND EROSION CONTROLS, WHICH WILL MINIMIZE ANY POTENTIAL EROSION PROBLEM, HAVE BEEN INCORPORATED INTO THE SITE EXCAVATION PLAN AND THIS NARRATIVE. PROPER INSTALLATION, ADJUSTMENT TO FIELD CONDITIONS, INSPECTION AND MAINTENANCE ARE ALL KEY FACTORS IN EFFECTIVE SEDIMENT CONTROL. IT SHOULD BE NOTED THAT SEDIMENT MAY AFFECT SURFACE WATERS AND WETLANDS, BUT IT DOES NOT AFFECT GROUNDWATER.

3. THE OTHER POTENTIAL CONTAMINATION SOURCE DURING EXCAVATION, ROCK REMOVAL AND RESTORATION OPERATIONS IS FROM MOTOR VEHICLE AND EQUIPMENT OPERATIONS. OIL, GREASE AND GASOLINE MAY BE LEAKED OR SPILLED ONTO THE GROUND, AND THEIR CONSTITUENTS MAY AFFECT GROUNDWATER. THESE ARE READILY CONTROLLED BY DESIGNATING A SINGLE UPLAND LOCATION FOR ANY VEHICLE OR EQUIPMENT FUELING AND MAINTENANCE WHICH MAY OCCUR ON THE SITE. DOWNSLOPE AREAS MAY BE PROTECTED BY AN OIL SORBENT BERM, AND ANY VISUALLY CONTAMINATED SOIL CAN BE DISPOSED OF IN AN APPROPRIATE MANNER AS IT OCCURS.

EQUIPMENT

1. EXCAVATORS, LOADERS, AIR COMPRESSORS, AND A PORTABLE SPLITTING MACHINE MANUFACTURED BY PARK INDUSTRIES OR EQUAL MAY BE USED FOR THE OPERATIONS TO BE CONDUCTED ON THIS SITE. IN MOST CASES, THE EQUIPMENT WILL REMAIN AT THE SITE ONLY WHEN REMOVING STONE.

2. IN MOST CASES WHEN THE MARKET CONDITIONS HAVE BEEN MET, ALL EQUIPMENT WILL BE REMOVED FROM THIS SITE UNTIL THE MARKET CONDITIONS CHANGE, THEN THE EQUIPMENT WILL BE MOVED BACK TO THE WORK SITE.

EXCAVATION AND RESTORATION PHASE DESCRIPTION

1. APPROXIMATELY 75,000 CUBIC YARDS OF STONE MATERIALS ARE EXPECTED TO BE REMOVED DURING THE EXCAVATION OF THIS SITE AS PROPOSED. ON-SITE PROCESSING OF STONE SHALL CONSIST OF THE FOLLOWING: EXCAVATORS WILL REMOVE BLOCKS OF STONE. BLOCKS OF STONE WILL THEN BE CUBED BY DRILLING AND USING FEATHER AND WEDGES TO SPLIT THE STONE TO SIZE. IN SOME CASES, HAND SPLITTING OF STONE WITH 14-16 LB SPLITTING HAMMERS MAY BE UTILIZED. IN MOST CASES THESE CUBED STONE BLOCKS WILL BE LOADED INTO A CONTAINER AND REMOVED FROM THE SITE. ALL EXCESS MATERIALS NOT REQUIRED FOR SITE RESTORATION AT THE COMPLETION OF THE EXCAVATION AND RESTORATION OPERATIONS WILL BE REMOVED FROM THE PROPERTY BY DUMP TRUCK AND DELIVERED TO OTHER LOCATIONS.

3. ANY EQUIPMENT REMAINING ON SITE DURING NON-WORKING HOURS SHALL BE PARKED ON A PAVED PAD CONSTRUCTED IN THE LOCATION INDICATED ON THE DRAWING. ALL FUELING OF EQUIPMENT USED ON SITE SHOULD ALSO BE PERFORMED ON THIS PAVED PAD. DUMP TRUCKS USED FOR HAULING MATERIALS EXCAVATED AND/OR RELOCATED ON THE SITE SHALL BE FUELED OFF SITE. NO ROUTINE MAINTENANCE OF WHEELED TRUCKS AND EQUIPMENT SHALL BE PERFORMED ON SITE. NO FUEL OR OTHER CONTAMINANTS SHALL BE STORED ON THE SITE.

RESTORATION PHASE

AS THE EXCAVATION AND ROCK REMOVAL OPERATIONS ARE PERMANENTLY OR TEMPORARILY COMPLETED FOR ANY PARTICULAR PHASE OR SUBPHASE OF WORK ON THE SITE, THE DISTURBED AREA SURROUNDING AND INCLUDING THE EXCAVATION AREA SHALL BE RESTORED AS DESCRIBED IN THE "EROSION AND SEDIMENT CONTROL AND SITE RESTORATION PLAN" HEREON.

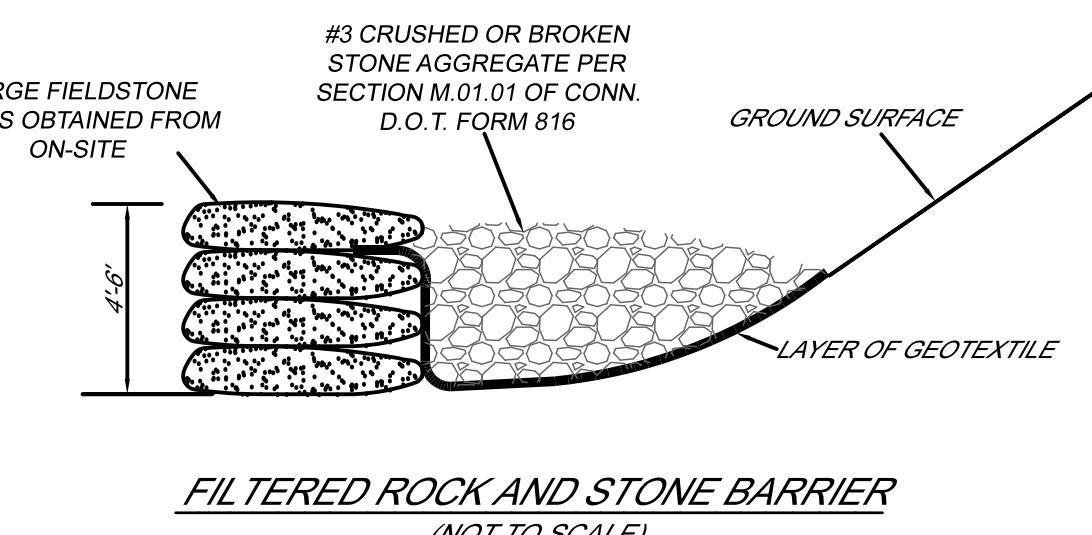
SPECIFIC PROCEDURES TO BE IMPLEMENTED BEFORE AND DURING WORK ON THE SITE

1. ALL CONTRACTORS WORKING ON THE SITE SHALL INFORM THEIR EMPLOYEES WHO MAY WORK AT THE SITE THAT THEY ARE WORKING NEAR AN AQUIFER, WETLAND AND/OR SURFACE WATERCOURSE AREAS, AS MAY BE APPLICABLE, AND THAT, IN THE EVENT OF A SPILL OF GASOLINE, DIESEL FUEL, FUEL OIL, OTHER OILS OR HYDROCARBONS, OR OTHER HAZARDOUS MATERIAL, THE INCIDENT MUST BE REPORTED IMMEDIATELY TO THE SITE SUPERVISOR, LOCAL FIRE DEPARTMENT AND CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION HAZARDOUS MATERIAL MANAGEMENT OIL AND CHEMICAL SPILL UNIT. A PERMANENT SIGN STATING THIS REQUIREMENT AND THE TELEPHONE NUMBERS OF BOTH AGENCIES, AS WELL AS THE STATEWIDE 911 EMERGENCY NUMBER, SHALL BE CLEARLY POSTED AT THE SITE IN THE VICINITY OF THE REFUELING AREA.

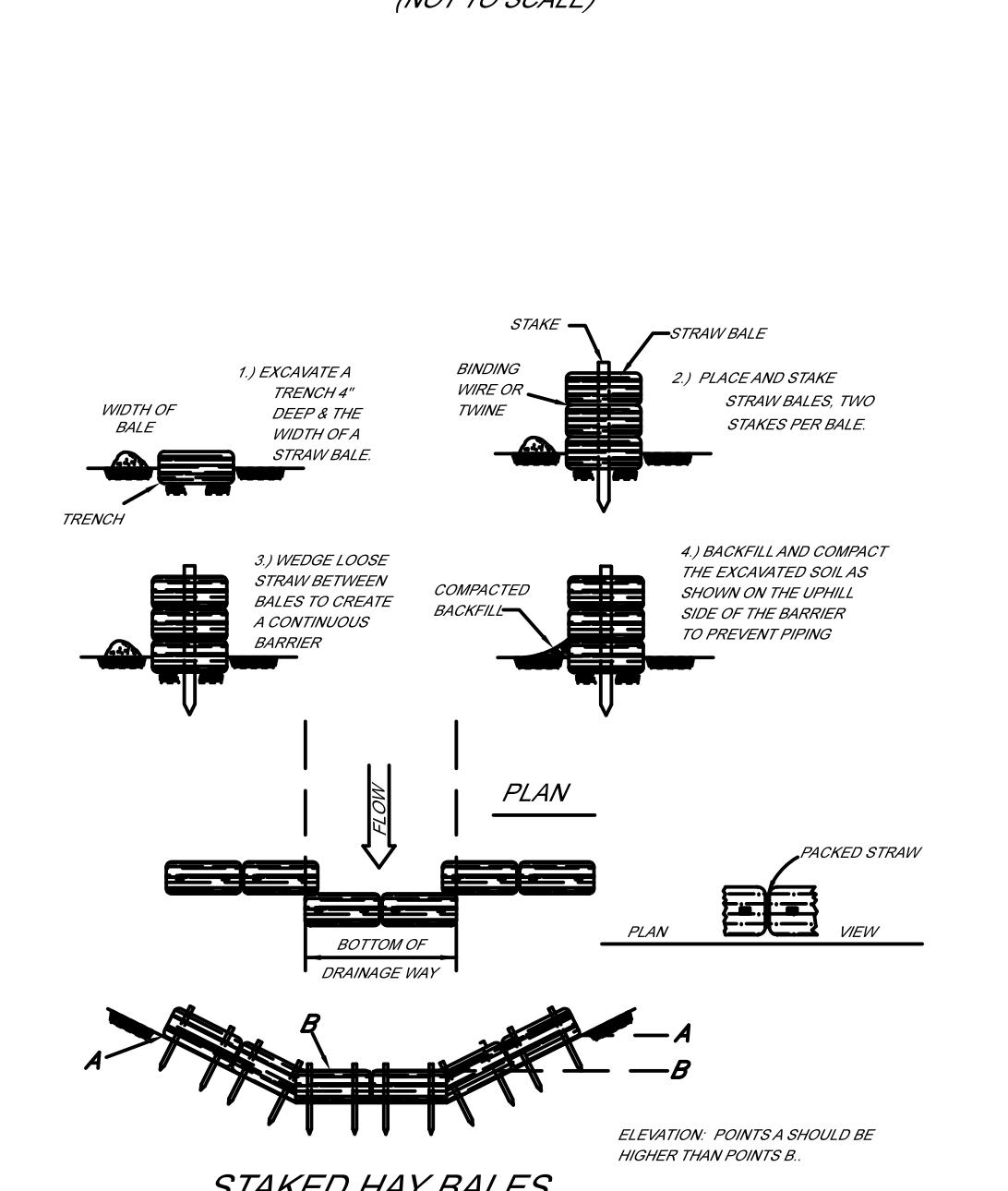
2. A DETAILED EQUIPMENT FUELING AND MANAGEMENT PLAN SHALL BE PREPARED BY THE PRIME SITE EXCAVATION CONTRACTOR, AND SUBMITTED TO THE TOWN OF STERLING FOR REVIEW AND APPROVAL BY BOARD OF SELECTMAN AND/OR ITS AUTHORIZED AGENT PRIOR TO BEGINNING ANY EXCAVATION OR ROCK REMOVAL OPERATIONS ON THE SITE. THE PLAN SHALL ADDRESS PROCEDURES FOR EQUIPMENT REFUELING AND MAINTENANCE WHICH MINIMIZES ANY POTENTIAL ENVIRONMENTAL IMPACTS. [NOTE HOWEVER THAT THE CONTRACTOR DOES NOT INTEND TO FUEL THE EQUIPMENT ON-SITE AT THIS TIME.]

3. SPILL RESPONSE EQUIPMENT SHALL BE STORED ON SITE TO ENABLE THE SITE CONTRACTOR(S) TO QUICKLY CONTAIN AND REMEDIATE SPILLS, IF AND AS THEY OCCUR. WORKERS ON THE SITE SHALL BE TRAINED IN THE PROPER USE AND IMPLEMENTATION OF THIS EQUIPMENT AND FIRST RESPONSE CONTAINMENT PROCEDURES, IF ITEM 2 IS TO BE UTILIZED.

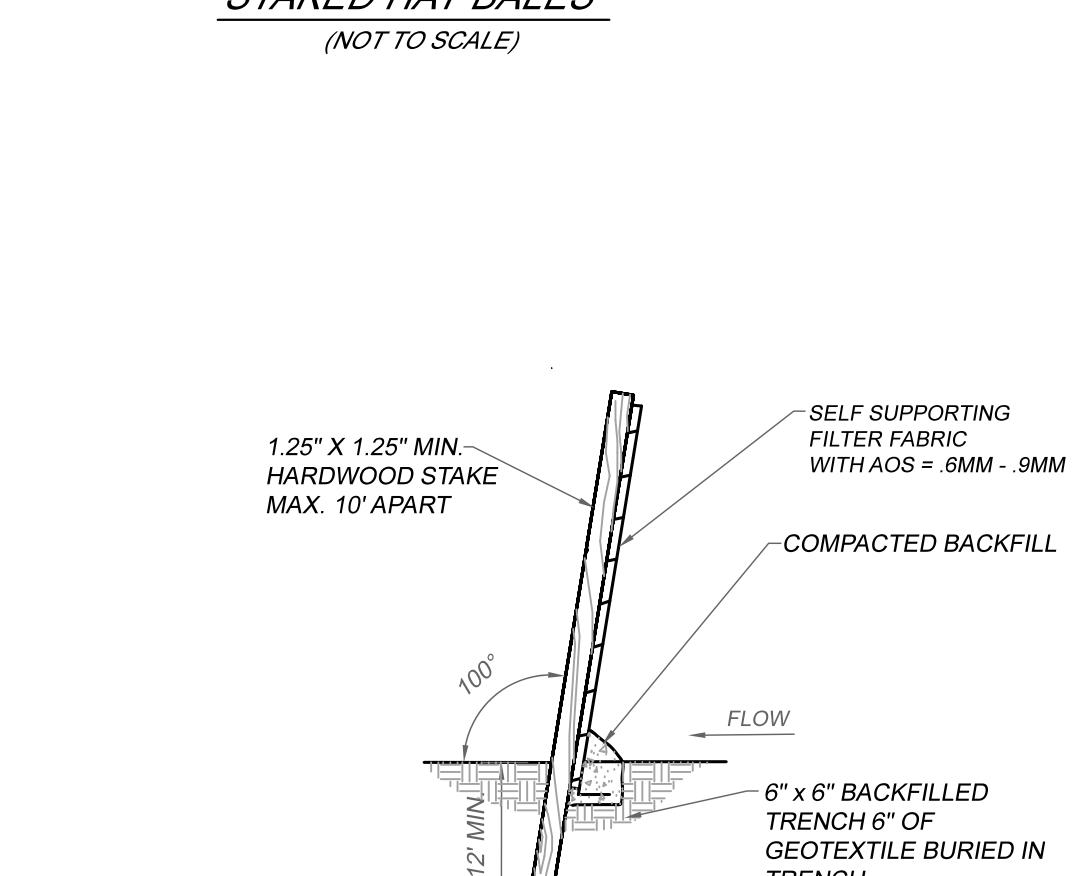
4. THE PROPERTY OWNER SHALL NAME A RESPONSIBLE PARTY OR PARTIES WHO CAN BE NOTIFIED ON A 24 HOUR, 7 DAY A WEEK BASIS IN CASE OF AN EMERGENCY AT THE SITE, AND SHALL SUBMIT THIS INFORMATION, IN WRITING, TO THE APPROPRIATE TOWN OF STERLING AND LOCAL FIRE DEPARTMENT STAFF, PRIOR TO BEGINNING ANY WORK ON THE SITE.



FILTERED ROCK AND STONE BARRIER
(NOT TO SCALE)



STAKED HAY BALES
(NOT TO SCALE)



J&D SITE
DESIGNS LLC

401 Ravenelle Road
N. Grosvenordale, CT 06255
www.jdsitedesigns.com
(860) 923-2920

January 5, 2025

Town of Sterling
Planning and Zoning Commission
PO Box 157
Oneco, CT 06373-0157

RE: Job # 25041
Encroachment Permit for Quarry
0 Plainfield Pike, Sterling CT

Dear Commissioners:

As required by Section 6.03.E.2 of the zoning regulations, we are submitting the following information to discuss the proposed blasting associated with this application. The applicant is proposing to operate a small quarry on the subject property. The overall intent is to create fairly large, rectangular sections of stone. Those rocks will then be transported to their final location and cut to the size requested by the buyer. Some blasting will be necessary to create the initial fractures in the bedrock.

After the trees have been cleared, and soil removed and stockpiled, the next step will be to blast the ledge or bedrock. The applicant has stated that blasting will occur very infrequently, twice a year at the very most. Since the intent is to create larger sections of stone, less explosive material will be used, and each "shot" or hole will be widely spaced. All blasting will be roughly 500 feet from any nearby structures; blasting regularly occurs in much closer proximity. All blasting will be performed by licensed contractors after receiving the necessary permits from the Fire Marshal.

The proposed blasting, when correctly done by a licensed contractor, should not damage any nearby structures or affect surface or ground water flows. Surficial drainage patterns will not be substantially altered by the proposed work. The depth and size of the charges will be designed for this specific project, taking in account the distance to nearby structures, to minimize any adverse impacts. Potentially a pre-blast survey will be performed, that inspects nearby foundations for existing damage. And seismographs may be installed, to confirm that the appropriate limits for ground vibration are being met. We do not anticipate any adverse impacts from the proposed blasting.

Sincerely,

Daniel Blanchette, PE LS
J&D Site Designs LLC

03830-027-0045
ABRUZZESE LINDA
880 HOPKINS HOLLOW RD
GREENE, RI 02827

03646-027-0008
BATURA MICHAEL J
531 MARGARET HENRY RD
STERLING, CT 06377

03828-023-037C
BONNEVILLE KATHY L
900 PLAINFIELD PIKE
STERLING, CT 06377

03828-023-037E
BROSNAH JENNIFER E
910 PLAINFIELD PIKE
STERLING, CT 06377

03830-027-0015
CORSON CHARLES W JR
160 STERLING RD
STERLING, CT 06377

03830-022-048V
EATON BRIAN A
940 PLAINFIELD PIKE
STERLING, CT 06377

03830-027-044F
GLADDING JASON M +
2 PARTRIDGE PLACE
STERLING, CT 06377

03830-027-015B
GLAUDE GARY R +
PO BOX 182
STERLING, CT 06377

03830-027-044D
HOFFMAN PATRICIA
6 PARTRIDGE PLACE
STERLING, CT 06377

03830-022-048U
LANGLAIS PAUL + LARISSA
290 CHURCH ST
STERLING, CT 06377

03830-022-051F
MACKINNON JAKE
950 PLAINFIELD PIKE
STERLING, CT 06377

03830-027-044E
PARKER H J INC
PO BOX 158
STERLING, CT 06377

03830-027-0044
POND PETER
PO BOX 237
ONECO, CT 06373

03830-027-045A
RASHEED WASEEM N
909 PLAINFIELD PIKE
STERLING, CT 06377

03828-023-0037
SCHERP ARTHUR SR ESTATE
442 JONES HOLLOW RD
MARLBOROUGH, CT 06477

25041 Corson - Bond Estimate

January 5, 2025

Item	Quantity	Units	Price	Total	
Silt Fence	950	FT	\$ 5.00	\$	4,750.00
Anti-Tracking Pad	1	each	\$ 1,500.00	\$	1,500.00
Restoration and Seeding	170,000	SF	\$ 0.20	\$	34,000.00
Total				\$	40,250.00

January 5, 2025

Town of Sterling
Planning and Zoning Commission
PO Box 157
Oneco, CT 06373-0157

RE: Job # 25041
Encroachment Permit for Quarry
0 Plainfield Pike, Sterling CT

Dear Commissioners:

The following information is provided in response to the review and comment letter we received from Towne Engineering dated October 17, 2025. The following constitutes an itemized response to those comments, including explanations and any necessary revisions. We look forward to working with the commissioners and town staff to get this project approved.

1. The applicant is aware of the excavator on site, and intends to fix the equipment and use it during quarrying operations once the permit has been approved.
2. The attached site plans have been revised to include the existing limits of disturbance. My firm did an independent topographic and boundary survey of the property during the summer of 2025. We used Javad GNSS equipment for the survey, and therefore there are no cut lines and very few benchmarks or other control points visible.
3. The applicant has confirmed that some blasting had occurred on site previously.
4. Noted.
5. The attached plans have been revised to include the existing stockpile of topsoil.
6. Noted.
7. In speaking with the applicant, we believe the previous quarrying activity that occurred towards the south side of the site was done many decades ago, likely before detailed plans and permits were required for that type of activity. Quarrying activities done under the 2007 permit was very minimal, and mostly consisted of site preparation such as clearing trees, improving the access road, and stripping topsoil.
8. The attached Sheet 4 of the plans has been revised to include the correct title block and the notes have been updated to reflect current zoning requirements.
9. The paper prints submitted to the town have been signed and sealed, only the digital PDF's which are identical are unsigned. We can provide you with signed PDFs upon request. Two of the property lines were missing bearings and distances, and those have been added to the revised plans. Since Sheet 3 does not show bearings and distances or

the entire perimeter of the property, we felt it was not appropriate to express a boundary opinion on Sheet 3.

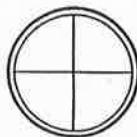
10. My firm was provided with all the CAD and DWG files for the previous 2007 Messier plans, included topographic shots. We then performed our own topographic survey of the area proposed for excavation, to confirm the site conditions had not changed. The topography shown on our plans should conform to Class T-2 standards, and is based on the latest NAVD88 datum. The plans have been updated to include a benchmark just west of the excavation area. Additional bench marks can be installed upon request from the contractor.
11. The attached plans have been revised to include a detail for the paved parking pad and to show the proposed clearing limits. We do not believe any improvements are necessary for the existing haul road or gravel driveway, other than some minor trimming of brush. The road has been used to transport heavy machinery for many years already and is in good condition. The details for the swale and check dam are included "just in case," if the contractor feels they might be necessary due to some unforeseen circumstance.
12. An updated E&S cost estimate is attached.
13. We are currently working with DOT to achieve their requested sight distances. The attached plans have been revised to include the culvert you requested.
14. Regulation Compliance
 - a. The list of abutters within 300 feet was included with our original submission to the town, but perhaps it got lost along the way. We will re-send it with this submission.
 - b. We will include a brief report discussing the proposed blasting with this submission.
 - c. We do not believe a DEEP stormwater permit is required. Since the total area of distance is under 5 acres, this should be considered a "locally approvable small construction activity" as described in Section 2.5.3 of the General Permit. If a DEEP permit is required, of course J&D will submit the necessary paperwork after receiving all town approvals.
 - d. When preparing the cover sheet to show homes within 1000' feet of the site, we used the base mapping on the town's GIS, which apparently shows most houses but not all of them. The cover sheet has been revised accordingly, using the latest aerial photography. Please let us know if we missed any specific houses.
 - e. A new sheet 4 has been added to include cross sections of the proposed excavation activities.
 - f. The attached plans have been revised to include the correct hours of operation.
 - g. The signature blocks on Sheet 1 have been revised to include an expiration date.
 - h. A cost estimate for erosion controls and site restoration is included with this submission.
 - i. This was discussed at the previous P&Z meeting. After excavation is complete, there is adequate space at the north of the site, towards the road, for a future house or other use. At least 3 acres of good buildable land should be available for future development. Additionally, the proposed excavation will not create any steep or hazardous slopes that would pose a danger to future owners.
 - j. The restoration notes have been revised to specify 4" of topsoil and 8" of subsoil, in accordance with the regulations.
 - k. The NDDB area has been added Sheet 1 of the revised plans.

15. The applicant explained in greater detail at the previous P&Z Commission meeting the exact procedure for rock removal. The zoning regulations do not allow for "screening, sifting, washing, and crushing" within 1,000' of a residence, as that work is very loud and presents a noise pollution issue for neighbors. None of those loud activities, especially screening and crushing, are proposed with this application. The activity will include occasional blasting, perhaps once or twice a year, to create relatively large sections of stone. The largest rocks may be further split by hand. Then the rocks will be loaded into a dump truck or storage container, and removed from the site. Noise pollution should be fairly minimal, the loudest activities will be from typical excavator operation, and placing rocks into the storage containers. The goal is to remove fairly large, rectangular sections of stone, that can be transported to a final location and then cut to size. As such, very little "processing" of stone will occur on site, and noise pollution should be fairly minimal compared with a typical quarry or gravel plant.

We thank you for your attention to this matter, and look forward to your reply. Please do not hesitate to contact me with additional questions or concerns.

Sincerely,

Daniel Blanchette, PE LS
J&D Site Designs LLC



TOWNE ENGINEERING, INC.

PROFESSIONAL ENGINEERS • LAND SURVEYORS • EXPERT WITNESS

MAIL: P.O. BOX 162 SOUTH WINDHAM, CT 06266

OFFICE: 1 RICHMOND LANE, WILLIMANTIC, CT 06226

(860) 423-6371 • (860) 889-2100 • Fax (860) 423-5470

DONALD R. AUBREY, P.E., L.S.

JOSEPH H. BOUCHER, M.S., L.S.

January 9, 2026

Planning and Zoning Commission
Town of Sterling
P.O. Box 157
Oneco, CT 06373-0157

Attn: James Larkin, Town Planner

Re: Second Review Memorandum

Special Permit and Excavation Permit Review
Charles Corson, III – Map 3830 Block 27 Lot 15
Route 14A, Plainfield Pike
TEI Job #25-055

Dear Commissioners,

We received revised plans and supplemental supporting materials from Daniel Blanchette of J&D Civil Designs, LLC on January 5, 2026 and offer the following:

Regulatory Issues:

Project time frames:

- Official date of receipt: September 15, 2025
- Public Hearing opened October 17, 2025
- PUBLIC HEARING CLOSED DECEMBER 15, 2025 (per draft minutes posted on the Town of Sterling Website)
- Action required on or before February 25, 2026

Basis of Regulatory Review (Regulations in effect September 15, 2025)

Zoning Regulations Town of Sterling

Latest Revision: Adopted October 21, 2024;

Effective Date November 18, 2024

We will yield to the advice of the Town Planner but it is our Professional Opinion and experience that no new materials can be considered by the Commission on an application once the Public Hearing has been closed. Therefore since the Public Hearing was closed on December 15th, 2025 that the revised materials received on January 5, 2026 cannot be used as the basis of review for the current application of Charles Corson for a Special Permit for Earth Excavation at the parcel known as Map 3830 Block 27 Lot 15. In our Professional opinion, there are two options available to the Commission; act on the materials that were in the record before the close of the

January 9, 2026

Sterling Planning and Zoning Commission
Special Permit & Excavation Permit Review

Second Review Memorandum

Charles Corson, III – Map 3830 Block 27 Lot 15
Route 14A, Plainfield Pike
TEI Job #25-055
Page 2 of 3

Public Hearing on December 15, 2025 or accept a withdrawal request from the Applicant who could then be able to reapply and begin the process all over with a fresh set of regulatory time frames which are 65 days following the official date of receipt of an application to open the public hearing, 35 days to close the public hearing, and 65 days after the close of the public hearing to act. The Applicant is afforded the opportunity to request time extensions up to a maximum of 65 days to one or more of the regulatory time periods.

Also, the applicable regulations are those that were in force on the date of application and not those that became effective on January 1, 2026.

Pending the outcome of the important regulatory issues raised above, we offer the following comments on the materials received on January 5th, 2025:

1. There are 2 letters from J&D Site Designs, LLC which have “Encroachment Permit for Quarry” in the header neither of which pertain to the required Encroachment Permit. No review comments or approval from District 1 of the Connecticut Department of Transportation have been provided for our review.
2. We disagree with Mr. Blanchette’s assertion that a stormwater permit from the D.E.E.P. is not necessary. The section of the General Permit cited is for construction activities and not industrial activities under which an excavation falls. Should the Commission choose to act on the current application we recommend that a condition of approval be that evidence of an Industrial Stormwater permit be submitted prior to the start of excavation or a letter from the D.E.E.P. indicating that a stormwater permit is not required.
3. Likely the DOT will not issue an Encroachment Permit until there is PZC approval of the application. Again we would recommend a possible condition of approval that no excavation commence on this site until all of the
4. improvements required by the DOT under an Encroachment permit have been completed and that evidence be submitted by the Applicant indicating that those improvements have been successfully completed. We did note that the sightline plans that were previously submitted were not received with the January 5th submission.
5. The signature blocks on the first sheet should be revised to eliminate the box for the endorsement of the Board of Selectman while retaining the line for the expiration date. Note #2 under the restoration phase notes on sheet 5 of 5 should be revised to remove the reference to the “Board of Selectman”.
6. The Applicant’s Engineer has submitted an Erosion and Sediment Control bond estimate in the amount of \$40,250.00. This estimate does not include the cost for the installation of the stone filer berm which is the key element of the Erosion Control Plan. Therefore we would recommend a bond amount of \$50,000.00. A cash deposit of \$5,000.00 is

January 9, 2026

Sterling Planning and Zoning Commission
Special Permit & Excavation Permit Review

Second Review Memorandum

Charles Corson, III – Map 3830 Block 27 Lot 15
Route 14A, Plainfield Pike
TEI Job #25-055
Page 3 of 3

recommended with the balance (\$45,000.00) be provided in the form of a letter of credit or commercial surety in a form acceptable to the Town Treasurer and Town Attorney.

7. Any approval motion considered clearly condition the approval to prohibit any on site processing of materials including screening, sifting, washing or crushing. (See Section 6.03.F.10)
8. We recommend that the Commission review the language contained in Section 7.05.A to determine if the impacts of this proposed excavation are in harmony with the intent of this section especially due to the fact that the home located at 6 Partridge Place was constructed subsequent to the previous 2007 approval of an Excavation Permit on this property.

As always, please feel free to contact us at any time if you have any questions or if you would like us to review new or revised materials associated with this application.

Respectfully Submitted,



Matthew D. Maynard, P.E.
Consulting Town Engineer
Owner Towne Engineering, Inc.



Joseph H. Boucher, M.S., L.S.
For: Towne Engineering, Inc.

Cc: Myron "Jack" Joslyn, First Selectman
Daniel Blanchette, P.E., L.S J&D Site Designs
John Guszkowski, Sterling Zoning Enforcement Officer



Town of Sterling, CT

Town of Sterling
1183 Plainfield Pike P.O. Box 157



OneCo.CT 06377

11/09/2025

SUBDIVISION APPLICATION

25-2SA

Subdivision Re-Subdivision Modification to Subdivision Plan

Applicant Information

Name: Judi Iafrate

Address: 80 Porter Pond Rd Moosup CT 06354

Phone: 8607108628 Fax: _____

Email: Truddie42@aol.com

Legal Interest: _____

Owner Information

Name: IAFRATE FRED A + JUDITH

Address: 80 PORTER POND RD MOOSUP, CT 06354

Phone: 8607108628 Fax: _____

Email: _____

Attached is documentation verifying ownership of the property. (Required)

Subdivision Specifications

Subdivision Name: _____

Address: 80 PORTER POND RD

Zone: _____ Assessor's Map and Lot #: 03646 0010

Is the subject parcel within 500 ft. of the Town boundary? Yes No

Total Acreage: _____ Proposed Number of Building Lots: 1

Total Acreage of Open Space: _____ Total Acreage of Conservation Easement: _____

(Attach open space calculations showing compliance to the Subdivision Regulations)

New Roads:

Name: _____ Length: _____

Name: _____ Length: _____

Name: _____ Length: _____

Subdivision Specifications (cont.)

Water Supply: _____

Approved by Local Health District: yes no n/a

Approved by State Health Department: yes no n/a

Sewage Disposal: _____

Approved by Local Health District: yes no n/a

Approved by State Health Department: yes no n/a

Is the property subject to Wetland Regulations? yes no

Signs

Will any signs be erected? yes no

Location: _____

Nature of Lighting: _____ Size: _____

Parties of Interest*

Engineer/ Architect Name: _____

Address: _____

Phone: _____ Fax: _____

Email: _____

Developer/ Builder Name: _____

Address: _____

Phone: _____ Fax: _____

Email: _____

*Complete information in this section as applicable.

Timeline

Proposed Date to Commence Construction: _____ Proposed Date of Completion: _____

Additional Information for Re-Subdivisions

Date of Approval of Original Subdivision: _____

Date filed with the Town Clerk: _____ Map #: _____

Fees

\$ 150.00 (Town Fee) + \$ 60.00 (State Fee) + \$10.00 (Processing) = \$ 220.00
(Payable to the Town)

See Subdivision Application Fee Schedule here:

<https://www.sterlingct.us/DocumentCenter/View/265/Subdivision-Fees---Effective-Revision-May-10-2008-PDF>

Signatures

The undersigned hereby applies for the approval of the Plan for the aforesaid subdivision and development and in consideration of such approval, covenants and agrees with the Town, as represented by the Planning and Zoning Commission, that:

- He will install such utilities as required, including storm drainage facilities, sewage systems, and comply with such other reasonable requirements as may be made by the Planning and Zoning Commission.
- He will complete all streets in the development or abutting thereon to the satisfaction of the Selectmen within _____ months from the date of final approval of this request.
- He will file a surety and performance bond, or savings account assignment bond, or cash bond in the amount stipulated in the approval by the Planning and Zoning Commission.
- He will convey to the Town by warranty deed all parcels of land for roads and for open space required by the Planning and Zoning Commission.
- He will grant to the Town perpetual unrestricted easements for drainage rights-of-way, and for areas designated as open space.
- He is familiar with the Zoning Regulations and the Subdivision Regulations of the Town and that this subdivision meets all requirements therein.
- He authorizes members of the Commission and Town staff to walk on the property for purposes of site inspections associated with this application.

Dated this 10 day of November, 2025

Signature of Owner(s) IAFRATE FRED A + JUDITH 11/09/2025

Signature of Applicant(s) Department Signed 11/12/2025

**Town of Sterling
ZONING BOARD OF APPEALS**

Variance Approval – ZBA 25-02

THIS DOCUMENT MUST BE FILED WITH THE STERLING TOWN CLERK TO BE RECORDED IN THE LAND RECORDS IN ORDER FOR THIS VARIANCE TO BE EFFECTIVE. (\$60.00 FEE)

OWNER OF RECORD: Fred and Judith Iafrate

DESCRIPTION OF PROPERTY:

80 Porter Pond Rd.
No. Street Name

3646 27 10 165 40
Map(s) Block(s) Lot(s) Volume(s) Page(s)

EFFECTIVE DATE OF DECISION PROVIDED DOCUMENT IS RECORDED:

NATURE OF VARIANCE:

Relief from Sterling Zoning Regulations Section 4.02.C. Shape and Location of Minimum Buildable Area "For lots requiring a minimum buildable area of 30,000 square feet, a rectangle having a minimum dimension of 150 feet by 150 feet must be capable of fitting within the designated buildable area." be reduced by 10 feet to 140 feet.

STERLING ZONING REGULATION WHICH WAS VARIED: Section 4.02.C. Shape and Location of Minimum Buildable Area

EXCEPTIONAL DIFFICULTY OR UNUSUAL HARDSHIP UPON WHICH THE DECISION IS BASED: The hardship being the odd geometry of the existing property boundaries and the pond being in the middle of the property creating a situation that is not found generally in other residential properties in Sterling.

I certify that the above is a true record of the variance granted for the subject property.

May 27th, 2025
Date


Stephen Offiler, Chairman ZBA

RECEIVED FOR RECORD
JUL 08, 2025 at 01:17 PM
Heather R. George
TOWN CLERK
Sterling, CT



NORtheast DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET • UNIT 4 • BROOKLYN, CT 06234
PHONE (860) 774-7350 • FAX (860) 774-1308 • WEB SITE WWW.NDDH.ORG

MAY 24 2023

May 10, 2023

Fred A. & Judith Iafrate
80 Porter Pond Road
Sterling, CT 06354

SUBJECT: FILE #4003457 - PORTER POND ROAD #80, MAP #3646, BLOCK #27, LOT #10-1, STERLING, CT

Dear Fred A. & Judith Iafrate:

Upon review of the subdivision plan, (PROVOST & ROVERO, INC., JOB# 223008, IAFRATE, DRAWN 05/03/2023) submitted to this office on 5/9/2023 for the above referenced subdivision, The Northeast District Department of Health concurs with the feasibility of this parcel of land for future development. Additionally, approval to construct individual subsurface sewage disposal systems may be granted based on compliance with appropriate regulations and the Technical Standards as they apply to individual building lots with the following notations:

1. Lot: 2 require that a Professional Engineer design and submit individual plot plan for review and approval prior to construction.
2. Proposed lots are based on 3 bedroom homes at the locations tested. If the number of bedrooms are increased, septic system sizes will require an increase per the Technical Standards.
3. Footing drain on Lot: 2 must be relocated on Professional Engineer's design to meet 25 feet separation distance.
4. If the proposed septic area is moved, additional testing may be required
5. A deep test pit is required for Lot: 2 in the area of the proposed septic system for verification of soil conditions. A fee of \$110.00 for additional soil testing must be remitted prior to the sanitarian conducting the test.

Be advised you must receive approval from the appropriate commissions in the Town of Sterling prior to construction of these lots.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

Should you have any questions, please feel free to contact the sanitarian that reviewed your plan.

Sincerely,

Donovan Moe

Donovan Moe, EHS
Environmental Health Specialist-NDDH

cc: Town of Sterling; Provost & Rovero, Inc.

June 22, 2023

I. Call to Order: The monthly meeting of the Sterling Inland Wetland and Watercourses Commission (IW&WC) was called to order at 6:05 pm by Acting Chair Roger Gibson. Members present: James Hawkins Jr, Richard McGarry, Howard Haggerty, Alternate Louis Sansone
Members absent: Kimberly Gunn, Jenn Mossner, Brad Herman
Staff present: Joe Theroux

II. Pledge of Alliance: All in attendance rose and recited Pledge of Alliance.

III. Audience of Citizens: Lincoln Cooper, Jennifer Knight

IV. Addition to Agenda: Corrections to May 25th meeting. Added Acting Chairman to the word Chairman. Corrected Robert Gibson to Roger Gibson. Added the word alternate in front L. Sansone added for Brad Herman.

V. Approval of Minutes: R. Gibson requested a motion to approve the corrected monthly meeting minutes of May 25,2023 1st motion J. Hawkins Jr and 2nd motion L. Sansone motion passed.

VI. Correspondence: None

VII. Unfinished Business:

- a. Application by Fred A. Iafrate & Judith Iafrate Proposed 2 Lot Re subdivision 80 Porter Pond Rd (3646-027-0010).
-R. Gibson requested a motion to approve application 1st motion R. McGarry 2nd motion L. Sansone motion passed. After the motion passed audience member Jennifer Knight, neighbor of with abutting property line, posed the question if the permitted approved land could be subdivided in the future if sold. Joe Theroux answered no it cannot be subdivided any more than it already is.
b. Election of Officers, R. Gibson requested it be delayed to the next meeting all officers were not in. Will put on Agenda for July 27th meeting.

VIII. New Business: None

IX. Agents Report:

1. Violations: None

2. Other Issues:

- a. Andrew Krauss has two lots done of the bumper (signage indicating Inlands & Wetlands area) signs on Snake Meadow Rd. J. Theroux stated he inspected them June 22, 2023, no issues with the bumpers. He is going with more on Main St presently.
b. Owner of 210 Snake Meadow Rd wants to move his driveway it is a safety issue presently. J. Theroux met with him June 22, 2023, to see potential impact on the Wetlands area nearby. They will continue to work together.

X. Any Other Business to Come Before the Commission: None

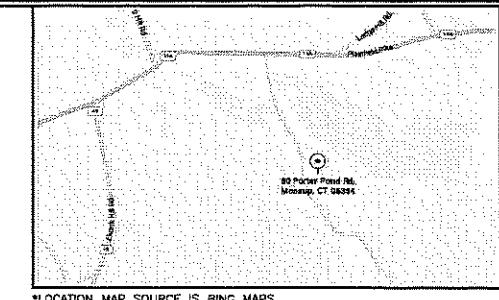
XI. Adjournment: R. Gibson requested a motion to adjourn. H. Haggerty made 1st motion, R. McGarry made 2nd to adjourn at 6:24 pm. All voted in favor of the motion.

Attest: *Erika K Lorange*

Erika K. Lorange Recording Se

MAP REFERENCES

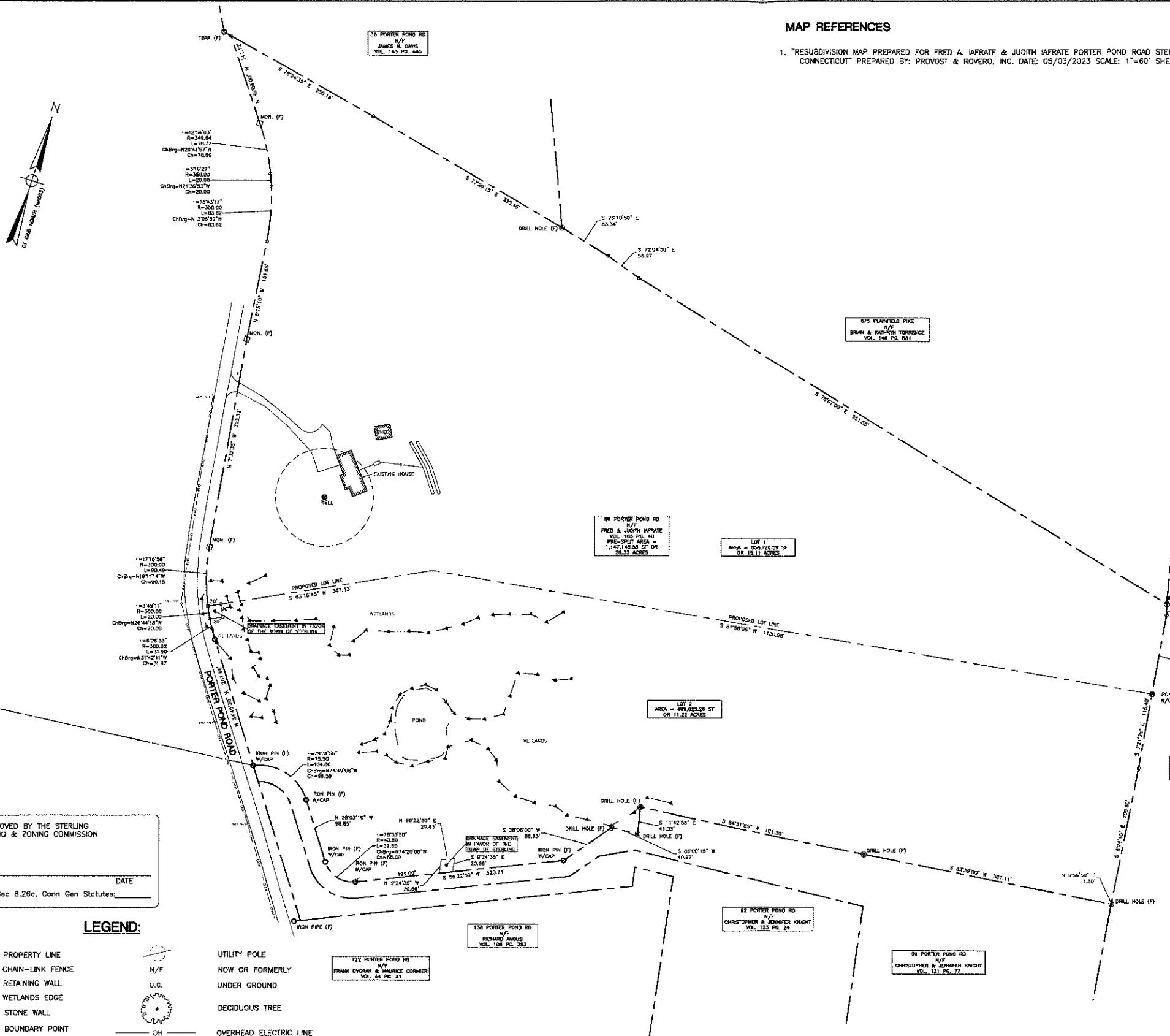
1. "RESUBDIVISION MAP PREPARED FOR FRED A. IAFRATE & JUDITH IAFRATE PORTER POND ROAD STERLING, CONNECTICUT" PREPARED BY: PROVOST & ROVERO, INC. DATE: 05/05/2023 SCALE: 1"=60' SHEET NO. 1-3 OF 3



*LOCATION MAP SOURCE IS BING MAPS
LOCATION MAP
(NOT TO SCALE)

SURVEY NOTES

1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 20-3006-1 THRU 20-3006-20 OF THE REGULATIONS FOR STATE AGENCIES "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC.
 - A. TYPE OF SURVEY: BOUNDARY SURVEY
 - B. BOUNDARY DETERMINATION CATEGORY: RESURVEY
 - C. HORIZONTAL ACCURACY: A-2
 - VERTICAL ACCURACY: N/A
 - TOPOGRAPHIC ACCURACY: N/A
 - D. INTENT TO DEPICT BOUNDARY INFORMATION A PROPOSED RESUBDIVISION FOR THE SUBJECT PARCEL
2. DATE OF LATEST FIELD WORK: OCTOBER 2025
3. HORIZONTAL ORIENTATION IS CT NAD 83 BASED ON FIELD GPS OBSERVATIONS
4. BOUNDARY LINES OF ADJOINING PROPERTIES ARE NOT TO BE CONSTRUED AS HAVING BEEN THE RESULT OF A FIELD SURVEY AND ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY
5. THE WORD "CERTIFY" IS UNDERSTOOD TO BE AN EXPRESSION OF THE PROFESSIONAL OPINION OF THE LAND SURVEYOR TO THE BEST OF THEIR KNOWLEDGE, INFORMATION AND BELIEF.
6. STONE WALLS AND/OR FENCES SHOWN AS BOUNDARIES MAY HAVE IRRREGULARITIES BETWEEN POINTS INDICATED ON THE SURVEY.
7. WETLANDS LOCATION DERIVED FROM MAP REFERENCE #1
8. A PRINT OR MYLAR OF THIS MAP IS NOT VALID UNLESS IT CONTAINS THE SEAL AND LIVE SIGNATURE OF THE SURVEYOR



TO MY KNOWLEDGE AND BELIEF, THIS PLAN IS SUBSTANTIALLY
CORRECT AS NOTED OR DEPICTED HEREON.

RYAN J. CHEVRIE, L.L.S. #70454

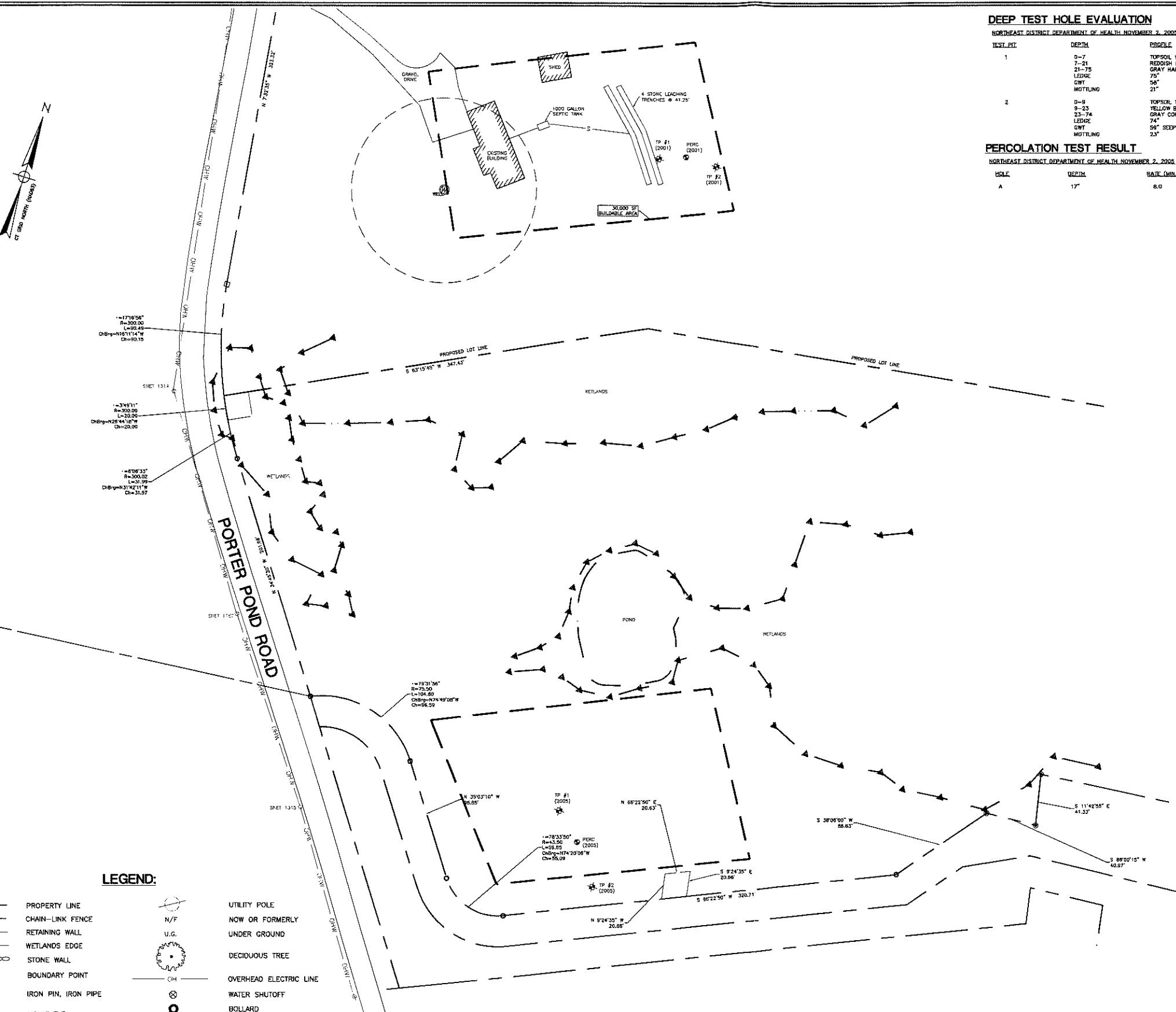
No.	DATE	REVISION	Project No.
			8248
			Proj. Surveyor
			R.J.C.
			Date: 10/29/25
			Sheet No.
			1

CLA Engineers, Inc.
CIVIL - STRUCTURAL - SURVEYING
317 Main Street, Norwich, CT 06360
(860) 866-1988 Fax (860) 866-9165

RESUBDIVISION PLAN

STERLING, CONNECTICUT

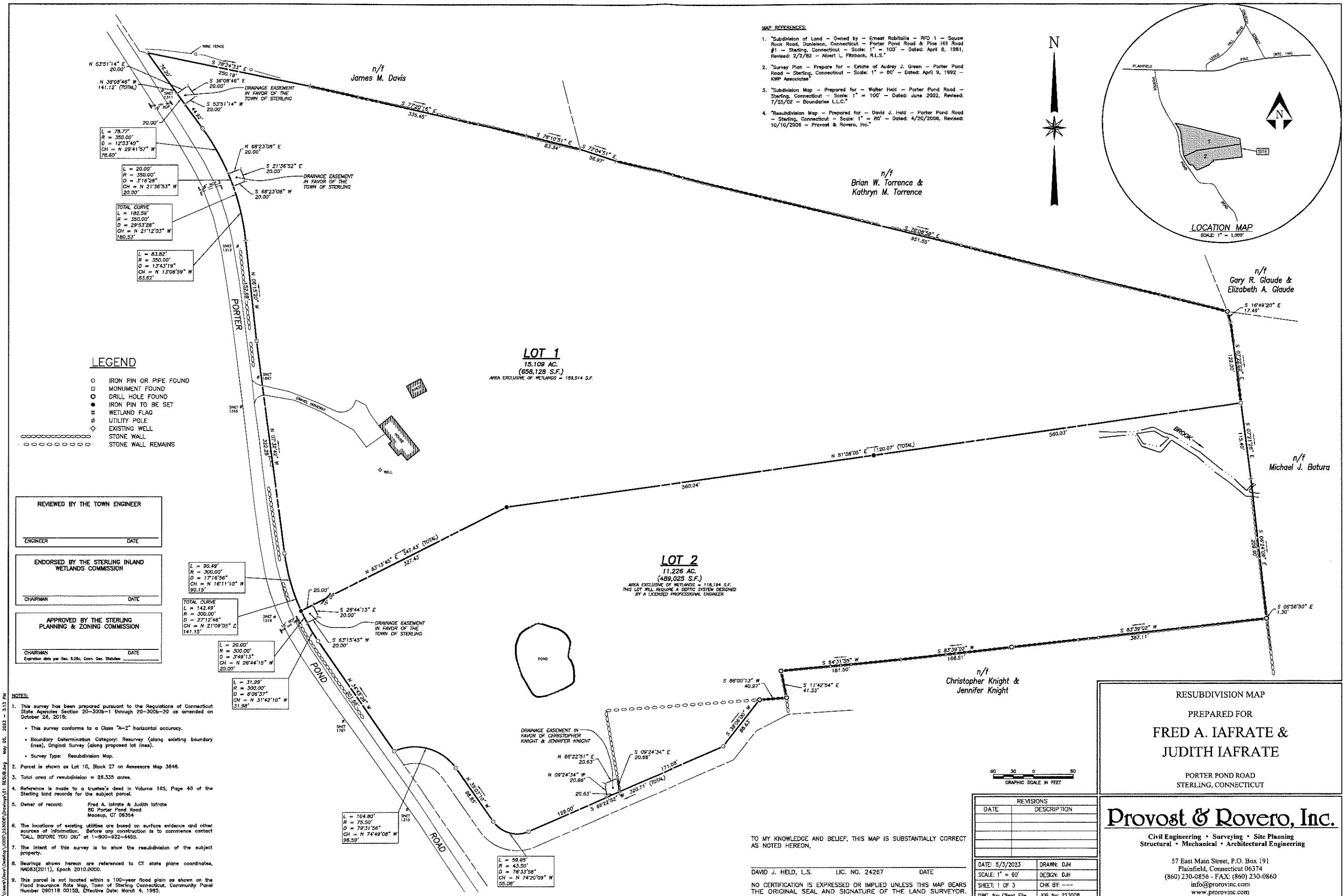
STATE OF CONNECTICUT
R. J. CHEVRIE
LICENSED LAND SURVEYOR
No. 70454

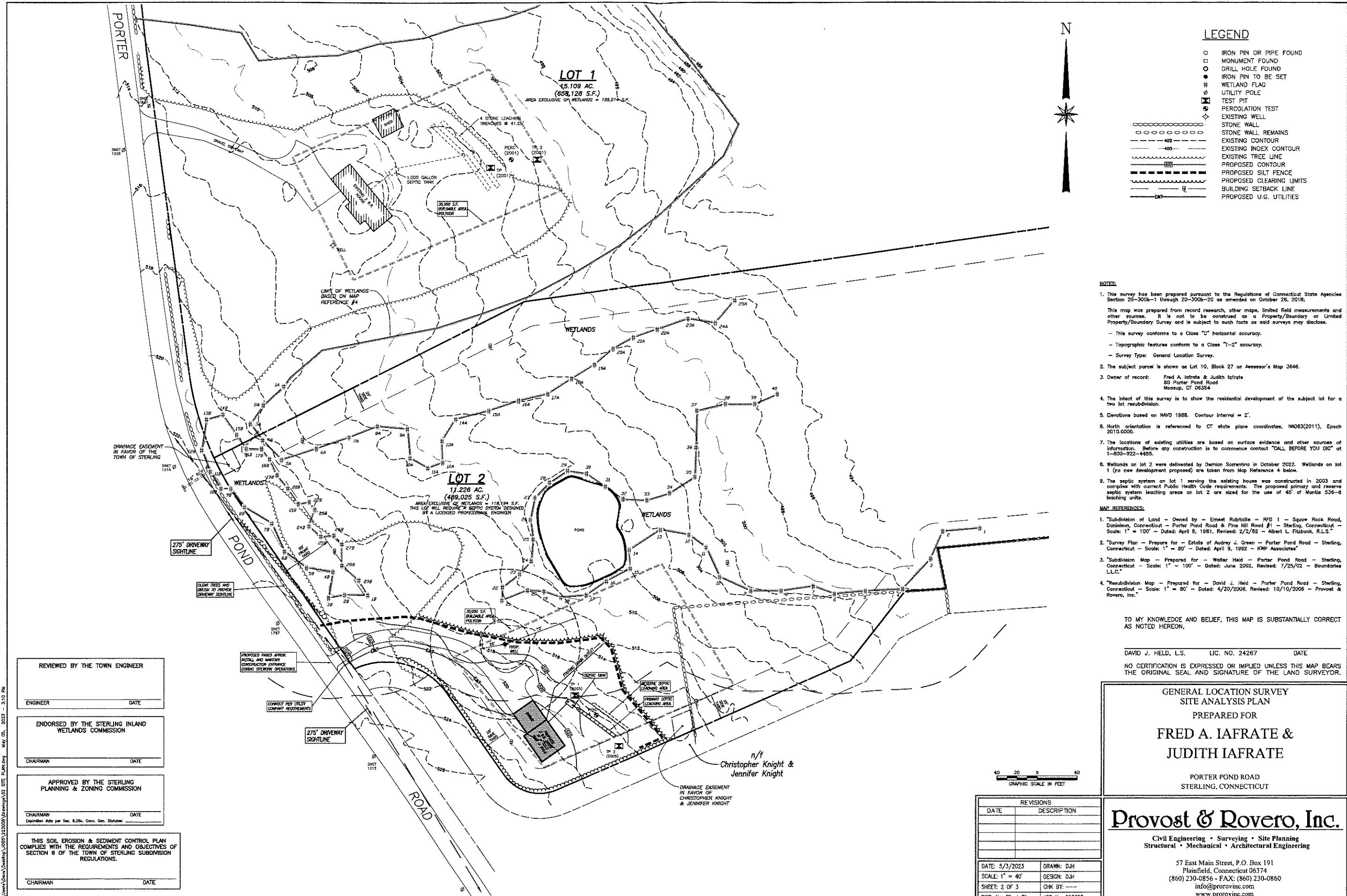


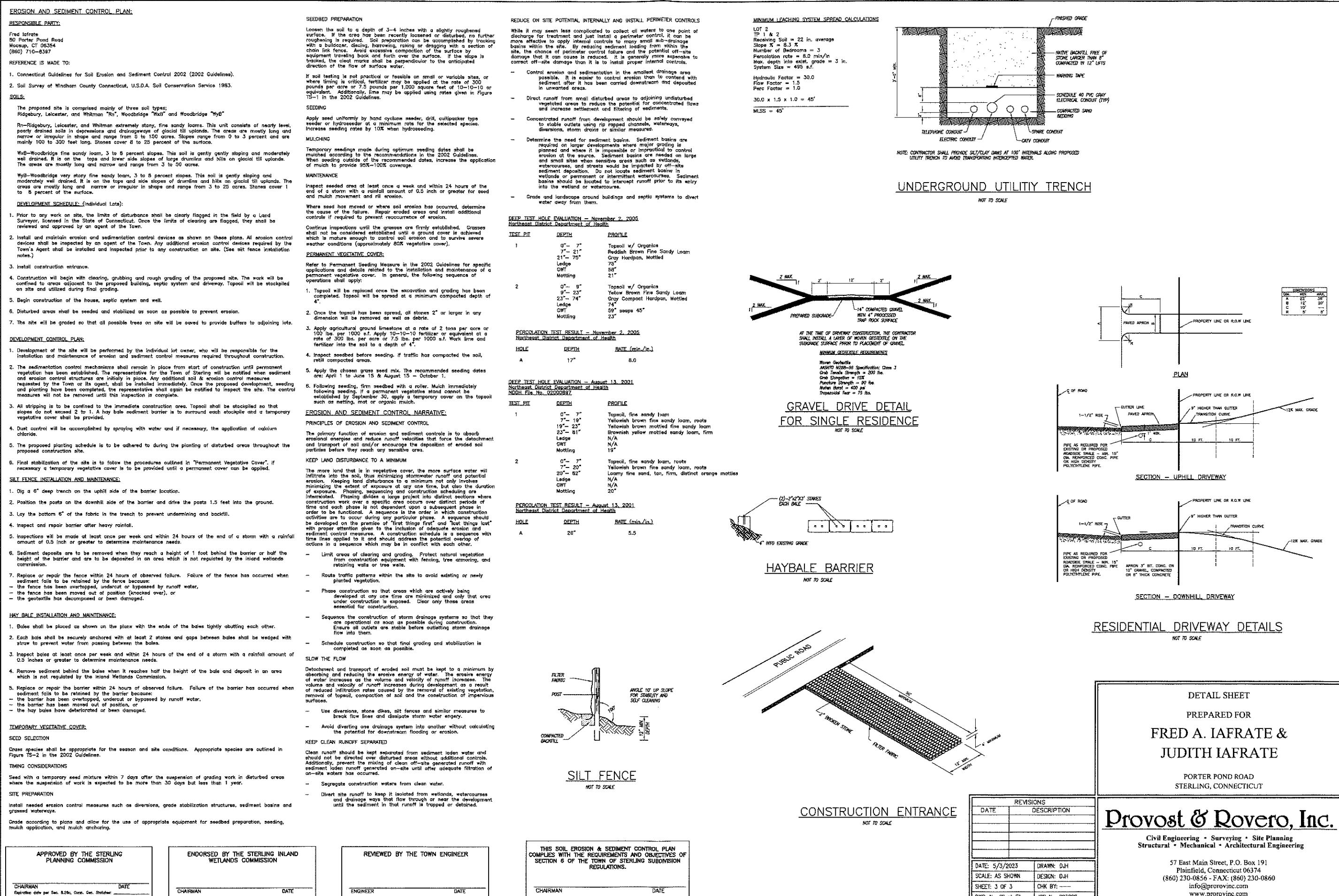
DEEP TEST HOLE EVALUATION

NORTHEAST DISTRICT DEPARTMENT OF HEALTH NOVEMBER 2, 2001

TEST PIT	DEPTH	PROFILE
1	0-7 7-11 11-15 15-19 19-23 23-27 27-31 31-35 35-39 39-43 43-47 47-51 51-55 55-59 59-63 63-67 67-71 71-75 75-79 79-83 83-87 87-91 91-95 95-99 99-103 103-107 107-111 111-115 115-119 119-123 123-127 127-131 131-135 135-139 139-143 143-147 147-151 151-155 155-159 159-163 163-167 167-171 171-175 175-179 179-183 183-187 187-191 191-195 195-199 199-203 203-207 207-211 211-215 215-219 219-223 223-227 227-231 231-235 235-239 239-243 243-247 247-251 251-255 255-259 259-263 263-267 267-271 271-275 275-279 279-283 283-287 287-291 291-295 295-299 299-303 303-307 307-311 311-315 315-319 319-323 323-327 327-331 331-335 335-339 339-343 343-347 347-351 351-355 355-359 359-363 363-367 367-371 371-375 375-379 379-383 383-387 387-391 391-395 395-399 399-403 403-407 407-411 411-415 415-419 419-423 423-427 427-431 431-435 435-439 439-443 443-447 447-451 451-455 455-459 459-463 463-467 467-471 471-475 475-479 479-483 483-487 487-491 491-495 495-499 499-503 503-507 507-511 511-515 515-519 519-523 523-527 527-531 531-535 535-539 539-543 543-547 547-551 551-555 555-559 559-563 563-567 567-571 571-575 575-579 579-583 583-587 587-591 591-595 595-599 599-603 603-607 607-611 611-615 615-619 619-623 623-627 627-631 631-635 635-639 639-643 643-647 647-651 651-655 655-659 659-663 663-667 667-671 671-675 675-679 679-683 683-687 687-691 691-695 695-699 699-703 703-707 707-711 711-715 715-719 719-723 723-727 727-731 731-735 735-739 739-743 743-747 747-751 751-755 755-759 759-763 763-767 767-771 771-775 775-779 779-783 783-787 787-791 791-795 795-799 799-803 803-807 807-811 811-815 815-819 819-823 823-827 827-831 831-835 835-839 839-843 843-847 847-851 851-855 855-859 859-863 863-867 867-871 871-875 875-879 879-883 883-887 887-891 891-895 895-899 899-903 903-907 907-911 911-915 915-919 919-923 923-927 927-931 931-935 935-939 939-943 943-947 947-951 951-955 955-959 959-963 963-967 967-971 971-975 975-979 979-983 983-987 987-991 991-995 995-999 999-1003 1003-1007 1007-1011 1011-1015 1015-1019 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ZEO Report January 2026

1. Porch Inquiries

Responded to inquiries regarding the construction of residential porches. Property owners were advised that all porches must comply with applicable zoning setback requirements. General guidance was provided on locating structures within permitted setbacks, and applicants were encouraged to verify compliance prior to construction.

2. Zoning Board of Appeals (ZBA) Application

Property: 1110 Plainfield Pike

Applicant: James Weagle

Provided assistance to Mr. James Weagle in the preparation and submission of a Zoning Board of Appeals application related to minimum lot size requirements. Guidance was given regarding application materials and procedural requirements.

3. Driveway Inquiry

Received an inquiry regarding the addition of a new driveway. The inquirer was advised that all driveways must conform to zoning regulations and applicable dimensional standards. They were further instructed to apply for and obtain a driveway permit prior to any construction.



TOWNE ENGINEERING, INC.

PROFESSIONAL ENGINEERS • LAND SURVEYORS • EXPERT WITNESS

MAIL: P.O. BOX 162 SOUTH WINDHAM, CT 06266

OFFICE: 1 RICHMOND LANE, WILLIMANTIC, CT 06226

(860) 423-6371 • (860) 889-2100 • Fax (860) 423-5470

DONALD R. AUBREY, P.E., L.S.
JOSEPH H. BOUCHER, M.S., L.S.

December 30, 2025

Planning and Zoning Commission
Att: John Guszkowski, Zoning Enforcement Officer
Town of Sterling
P.O. Box 157,
Oneida, CT 06373-0157

Re: Erosion & Sedimentation Inspection Report
Strmiska Excavation, 140 Newport Rd, Sterling, CT
TEI Job #23-111

Dear Commissioners,

I conducted an Erosion & Sedimentation (E&S) site inspection on Wednesday December 24, 2025 with John Guszkowski, Zoning Enforcement Officer.

At the time of inspection, the gate was open and we met Jeffrey Strmiska, site operator and owner on site. The access road leading into the site is in good condition. The stone check dams, silt traps, and cross culvert all seem to be maintained and are functioning as they should be. Lots of material has been moved since my last inspection, you can now drive between the westerly side of the site to the lower area on the east side of the site.

It was discovered that the center portion of the site in phase one consists of ledge and is being left alone for now. The vegetated buffer on the east side of the site remains in good condition, along with the sedimentation basin and overflow structure located in the lower active area.

Overall, the site is fully contained, and is being maintained well. If you have any questions, comments or need any additional information please contact me at my office, Mon.-Fri., 8am to 5pm at 860-423-6371 or via email any time at mmaynard@townengineeringinc.com.

Sincerely,

Matthew D. Maynard, P.E.
Owner, Towne Engineering, Inc.
Consulting Town Engineer for the Town of Sterling

cc: J. Joslyn, First Selectman